

**SECTION 009111
ADDENDUM NUMBER 2**

PARTICULARS

- 1.01 DATE: 9/11/2026**
- 1.02 PROJECT: 021969.001 STEELE COUNTY COURTHOUSE IMPROVEMENTS**
- 1.03 PROJECT NUMBER: 021969.001**
- 1.04 OWNER: STEELE COUNTY COMMISSION**
- 1.05 ARCHITECT: BARTLETT & WEST**
TO: PROSPECTIVE BIDDERS:
- 2.01 THIS ADDENDUM FORMS A PART OF THE CONTRACT DOCUMENTS AND MODIFIES THE ORIGINAL PROCUREMENT DOCUMENTS DATED AUGUST 17, 2026, WITH AMENDMENTS AND ADDITIONS NOTED BELOW.**
- 2.02 ACKNOWLEDGE RECEIPT OF THIS ADDENDUM IN THE SPACE PROVIDED IN THE BID FORM. FAILURE TO DO SO MAY DISQUALIFY THE BIDDER.**
- 2.03 THIS ADDENDUM CONSISTS OF 2 PAGE(S) AND THE FOLLOWING ATTACHMENTS:**
- A. Civil drawing sheets: V-100, C-100, C-200, C-201, C-300, C-400, C-500, and C-600.
 - B. Architectural drawing sheets: AD-201, AD-202, AD-203, AD-204, A-204 and A-301.
 - C. Electrical drawing sheets: E001 and E202.
 - D. Scans of the existing building drawings are available at the following link.
 - 1. [Existing Building Drawings](https://bartlettandwest-my.sharepoint.com/:f/g/personal/jbn01642_bartwest_com/lgA4Q8Wv3yBiQlaa41y0Gs_9AS--PIQI3evYILRno1CMo_A?e=LuQaa1) (https://bartlettandwest-my.sharepoint.com/:f/g/personal/jbn01642_bartwest_com/lgA4Q8Wv3yBiQlaa41y0Gs_9AS--PIQI3evYILRno1CMo_A?e=LuQaa1)
 - E. Plan Holders List.

CHANGES TO THE PROJECT MANUAL - INTRODUCTORY REQUIREMENTS, PROCUREMENT REQUIREMENTS AND CONTRACTING REQUIREMENTS:

3.01 SECTION 009111-INSTRUCTIONS TO BIDDERS

- A. A Pre-Bid Conference was held at the Steele County Courthouse on Wednesday, September 9 at 10 am CST. Attendance was as follows:
Joe Larrivee, Bartlett & West
Nick Weich, Bartlett & West
Matt Jacobson-Heck, Bartlett & West
Spencer Hruska, MAK Construction
Sheryl Manske, Construction Engineers
Craig Hauser, Mid-Continental Construction
Meeting Notes:
An Extension of the Bid Date was requested. Subsequent discussion with the Owner requires that the scheduled bid date needs to remain as originally advertised.

CHANGES TO THE PROJECT MANUAL - SPECIFICATIONS:

4.01 SECTION 012300-ALTERNATES

- A. 1.04 SCHEDULE OF ALTERNATES: At 1.04.A.2 Add the following to the paragraph: "including window retrofit".

4.02 SECTION 033000-CAST IN PLACE CONCRETE

- A. 3.08 Q. Backfill placed against walls and grade beams shall be done evenly on both sides. Do not place backfill against walls until the concrete has attained a compressive strength equal to **75%** of the specified 28-day compressive strength. (remaining text unchanged)

4.03 SECTION 083100 – ACCESS DOORS AND PANELS

- A. Delete this section in its entirety.

4.04 SECTION 238129-VARIABLE REFRIGERANT FLOW HVAC SYSTEMS

- A. 2.07.A.3. Add: "HRCUs (BCs) shall be provided with a ventilated enclosure to control a refrigerant leak and listed and installed in accordance with UL 60335-2-40."

CHANGES TO DRAWINGS:

5.01 THE ATTACHED DRAWING SHEETS IN SECTION 2.03 REPLACE THOSE ORIGINALLY ISSUED.

5.02 DRAWINGS V-100, C-100, C-200, C-201, C-300, C-400, C-500, AND C-600 – ADDED VALLEY GUTTER TO NORTH SIDE OF BUILDING

- A. Added valley gutter to provide flow from existing pipe outlet north of the building to the grassed area to reduce basement storm water infiltration.

5.03 DRAWING A-101 – REFERENCE NOTES

- A. Replace Keynote 033000.01 with the following: "Smooth formed finish 8" cast-in-place concrete foundation wall and 20"x12" footing. See details."

5.04 DRAWING A-102 & A-201 – REFERENCE NOTES

- A. Replace Keynote 033000.03 with the following: "Cast-in-place concrete stair system. See details and civil."
- B. Replace Keynote 033000.04 with keynote 033000.01 - Smooth formed finish 8" cast-in-place concrete foundation wall and 20"x12" footing. See details."

5.05 DRAWING E001 – ELECTRICAL COVER SHEET

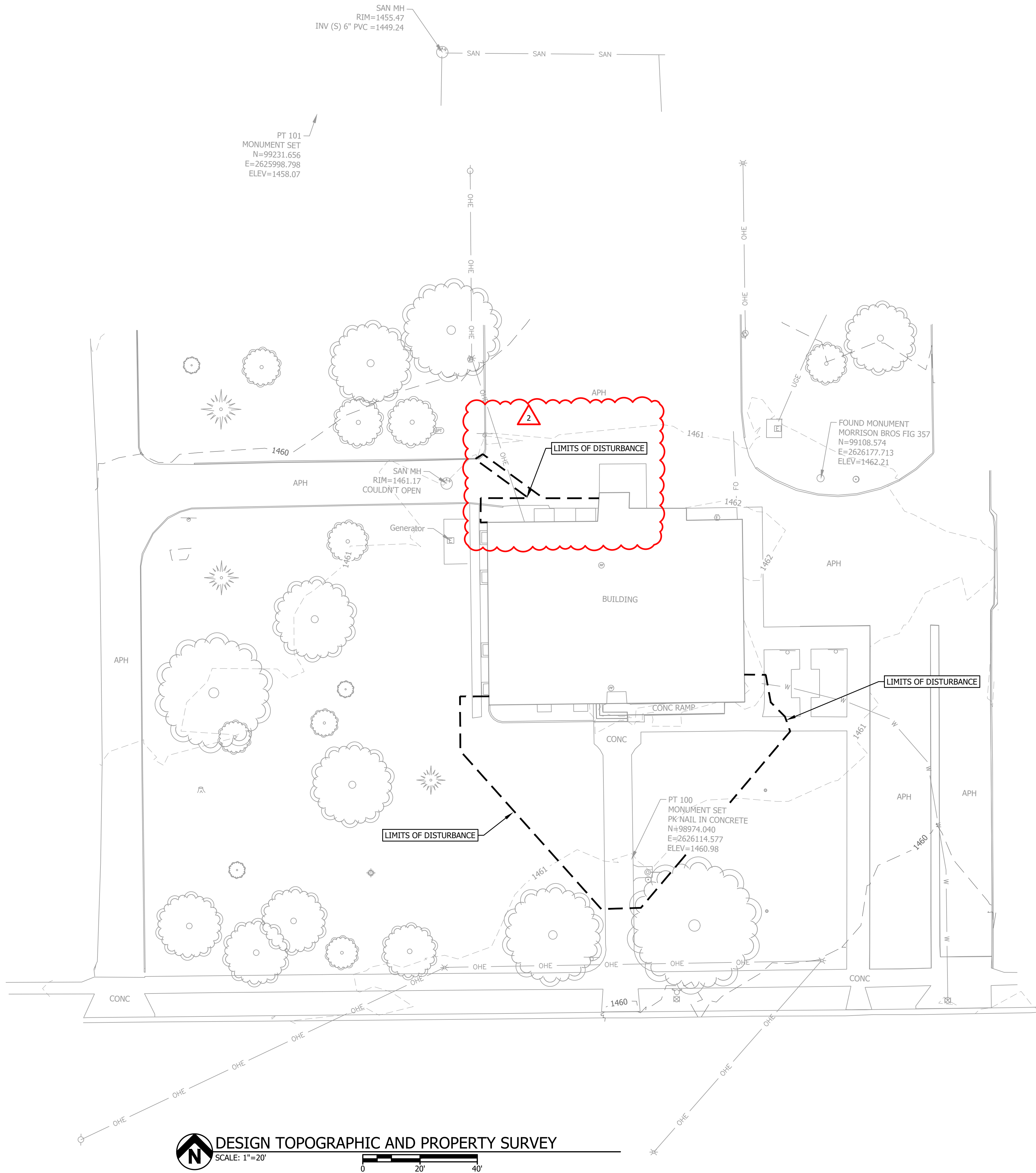
- A. Added detail 1 for new flagpole lighting installation detail. Provide two assemblies as indicated at flagpole location shown on sheet C-200.

5.06 DRAWING E202 – FIRST FLOOR EQUIPMENT PLAN

- A. See note 4 for flagpole lighting connection and location.

END OF SECTION

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GENERAL NOTES

ENGINEERING FIRM OF RECORD:

BARTLETT & WEST
3456 E CENTURY AVE.
BISMARCK, ND 58503
PROJECT CONTACT: CASEY COLBERN, PE
EMAIL: CASEY.COLBERN@BARTWEST.COM
PHONE: 785-330-7031
LANDSCAPE ARCHITECT: PAUL NEUKIRCH
EMAIL: PAUL.NEUKIRCH@BARTWEST.COM
PHONE: 785-330-7044

SURVEY INFORMATION:

ALL SURVEY DATA SHOWN WAS PROVIDED BY:
BARTLETT & WEST, INC.
3456 E CENTURY AVE.
BISMARCK, ND 58503
CONTACT: DAYNE SOLEM, PLS
PHONE: 701-221-8414

PROJECT CONTROL

US STATE PLANE 1983
NORTH DAKOTA NORTH ZONE
NAD83
INTERNATIONAL FOOT
GRID
GEOID18

FOUND MONUMENT
MORRISON BROS FIG 357
N= 99108.574
E= 2626177.713
ELEV= 1462.21

PT 100
MONUMENT SET
PK NAIL IN CONCRETE
N= 98974.040
E= 2626114.577
ELEV= 1460.98

PT 101
MONUMENT SET
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E= 2625998.798
ELEV= 1458.07

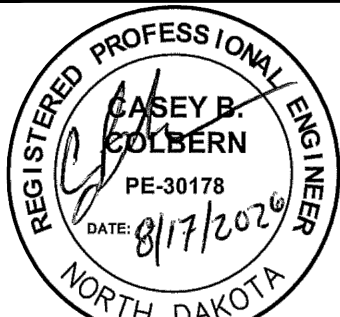
LEGEND

TOPOGRAPHIC LINE LEGEND

- — — — — CENTER LINE OF ROAD
- - - - - EASEMENT LINE
- — — — — RIGHT-OF-WAY
- 100' — — — — — CONTOUR MAJOR
- - - 100' - - - - - CONTOUR MINOR
- G — — — — — GAS LINE
- OHE — — — — — OVERHEAD ELECTRIC
- FO — — — — — FIBER OPTIC (OH AND UG)
- W — — — — — WATER LINE
- SAN — — — — — SEWER - GRAVITY
- UGE — — — — — UNDER GROUND ELECTRIC

- TREE - DECIDUOUS
- TREE - EVERGREEN
- STUMP
- LPT PROPANE TANK
- MANHOLE (SANITARY)
- UTILITY POLE
- LIGHT
- ELECTRIC METER
- ELECTRIC TRANSFORMER/PAD
- WATER VALVE
- FIRE HYDRANT
- FLAG POLE
- POST
- SIGN (ONE POLE)
- or HORIZONTAL CONTROL POINT
- or FOUND SURVEY MONUMENT

DESIGN TOPOGRAPHIC
AND PROPERTY SURVEY
STEELE COUNTY
STEEL COUNTY COURTHOUSE
201 WASHINGTON AVE. W
FINELY, ND 58230

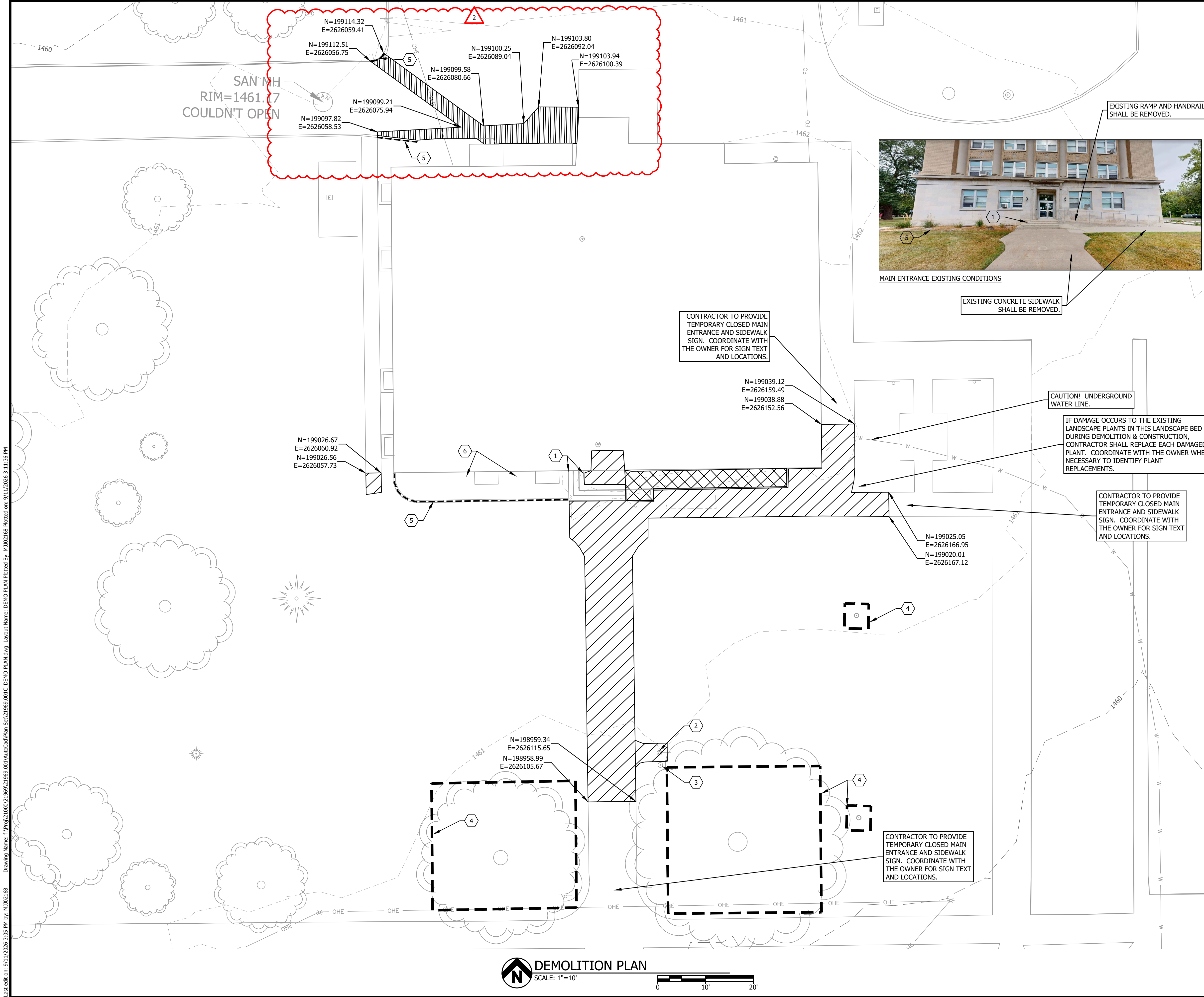


DESIGNED BY: PRN
DRAWN BY: PRN
APPROVED BY: CBC
DESIGN PROJ: 21969.001
CONST PROJ: ---
SCALE: AS NOTED
DATE: 08/17/2026
DRAWING NO:

V-100

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Drawing Name: \\proj\21000\21969\21969.001\AutoCad\Plan Set\21969.001.C DEMO PLAN.dwg Layout Name: DEMO PLAN Plotted on: 9/11/2026 3:11:36 PM
Last edit on: 9/11/2026 3:05 PM by: MJ02168



DEMOLITION NOTES

- ALL UTILITY INFORMATION SHOWN HEREIN IS BASED ON THE TOPOGRAPHIC INFORMATION SURVEYED BY BARTLETT & WEST, INC. AT THE TIME OF DESIGN. CONTRACTOR SHALL VERIFY ALL UTILITY DEPTHS AND LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO FIELD LOCATE AND/OR ADJUST THEIR UTILITY AS REQUIRED FOR CONSTRUCTION. DISSAFE SHALL LOCATE PUBLIC UTILITIES. OWNER WILL COORDINATE 3RD PARTY LOCATOR FOR PRIVATE UTILITIES. ALL UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND THE DESIGN PROFESSIONAL ASSUMES NO LIABILITY FOR SAME.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING DEMOLITION AND IS RESPONSIBLE FOR ALL DEWATERING NECESSARY FOR CONSTRUCTION.
- CARE SHALL BE EXERCISED BY THE CONTRACTOR TO PRESERVE AND/OR PROTECT ANY EXISTING VEGETATION OUTSIDE OF AREAS TO BE GRADED. THE PERSON(S) WHO DAMAGES ANY OF THESE AREAS SHALL BE HELD RESPONSIBLE FOR ALL COSTS OF REPLACEMENT MATERIALS AND LABOR.
- ALL WASTE EXCAVATION, CONSTRUCTION MATERIALS, DEMOLISHED STRUCTURES AND DEBRIS REMOVED FROM THE SITE SHALL COMPLY WITH STEELE COUNTY, ND DESIGN CODES.
- CONTRACTOR SHALL PROVIDE THE APPROPRIATE BMP (COMPOST SOCK, GRAVEL FILTER BAGS, WADDLES, SILT FENCE ETC.) AROUND STOCKPILE AREA TO PROTECT ADJACENT INLETS ETC. UNTIL STOCKPILE IS REMOVED FROM SITE. ALL EXCAVATED OR OTHERWISE DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AS NEARLY AS IS PRACTICAL. THE REPLACEMENT MATERIALS SHALL BE COMPACTED SO AS TO PREVENT SETTLEMENT. ANY PARKING OR DRIVE SURFACING, SIDEWALK OR ESTABLISHED TURF AREAS SHALL BE REPLACED IN KIND OR AS SHOWN HEREIN.
- ALL DEMOLITION SHALL COMPLY WITH STEELE COUNTY, ND DESIGN CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL BARRICADES REQUIRED FOR SAFETY IN AND AROUND THE CONSTRUCTION SITE. CONTINUOUS MAINTENANCE OF TRAFFIC CONTROL DEVICES DURING THE TERM OF THIS PROJECT IS THE CONTRACTOR'S RESPONSIBILITY. ALL TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF THE LATEST VERSION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- ALL EXISTING STRUCTURES TO REMAIN WITHIN THE CONSTRUCTION LIMITS SHALL BE PROTECTED BY MEANS OF FENCING AND OTHER DEVICES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THESE STRUCTURES AND CLEAN UP ALL DEBRIS NEAR, ON, OR AROUND THESE STRUCTURES AT COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING REMOVAL AND REPLACEMENT OF ALL UTILITIES ON THIS SITE WITH THE OWNER, AND THE APPROPRIATE UTILITY PROVIDER, ALL UTILITIES INCLUDE, BUT ARE NOT LIMITED TO STORM, SANITARY, GAS, ELECTRIC, WATER, TELEPHONE, AND CABLE.
- THE CONTRACTOR SHALL VERIFY ANY DEMOLITION DIMENSIONS SHOWN PRIOR TO COMMENCING DEMOLITION.
- THE CONTRACTOR SHALL ESTABLISH STAGING, STORAGE AND PARKING AREAS PER APPROVAL OF THE OWNER, THE AREAS SHALL BE FENCED WITH TEMPORARY FENCING AS APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL SURVEY STAKES (CONTROL POINTS, REFERENCE POINTS, BENCH MARKS, PROPERTY AND OFFSET CORNERS, AND ALL OTHER ESSENTIAL HORIZONTAL AND VERTICAL SURVEY CONTROL POINTS) UNTIL CONSTRUCTION ACTIVITY IS COMPLETED. THE CONTRACTOR SHALL PAY FOR RE-STAKING ANY SURVEY STAKES THAT ARE DESTROYED.
- CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN MOVING OR WORKING NEAR ANY UTILITIES.
- SAWCUTS ALONG SIDEWALKS AND PAVEMENT SHALL BE REMOVED AT THE NEAREST EXISTING JOINT IF APPLICABLE.
- LEAVE AREAS OF DEMOLITION IN A NEAT AND SAFE CONDITION AT THE END OF EACH WORK DAY. CONTRACTOR SHALL BARRICADE AREAS OF DEMOLITION AS NECESSARY TO PROTECT THE GENERAL PUBLIC.

REFERENCE NOTES

- EXISTING CONCRETE STAIRS SHALL BE REMOVED. THIS INCLUDES ANY ASSOCIATED CONCRETE STOOPS AND RAILING IF APPLICABLE.
- EXISTING FLAG POLE AND FOUNDATION SHALL BE REMOVED.
- EXISTING LIGHT AND PEDESTAL SHALL BE REMOVED.
- INSTALL TREE PROTECTION FENCE. REFER TO THE SITE DETAILS SHEET FOR TREE PROTECTION DETAIL.
- EXISTING CONCRETE CURB INDICATED BY THE DASHED LINE IN THIS PLAN SHALL BE REMOVED.
- EXISTING DECORATIVE ROCK TO BE REMOVED, STOCKPILED, AND REINSTALLED IN THE LANDSCAPE BED. CONTRACTOR TO COORDINATE WITH THE OWNER FOR STOCKPILE LOCATION.

HATCHING LEGEND

- | | |
|--|--|
| | EXISTING ASPHALT PAVEMENT SHALL BE SAWCUT AND REMOVED. |
| | EXISTING CONCRETE SIDEWALK SHALL BE REMOVED. |
| | EXISTING CONCRETE RAMP STRUCTURE AND RAILING SHALL BE REMOVED. |

BY	DATE	APPENDIX NUMBER	DESCRIPTION
	09/11/26	2	

Bartlett & West

3456 E CENTURY AVENUE - BISMARCK, ND 58503
PHONE 701.258-1110 - FAX 701.258-1111
WWW.BARTLETTANDWEST.COM

DEMOLITION PLAN

STEELE COUNTY

STEELE COUNTY COURTHOUSE

201 WASHINGTON AVE. W
FINELY, ND 58230

REGISTERED PROFESSIONAL ENGINEER

CHASE B. COLBURN

PE-30178

DATE: 8/17/2024

NORTH DAKOTA

DESIGNED BY:	PRN
DRAWN BY:	PRN
APPROVED BY:	CBC
DESIGN PROJ:	21969.001
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SCALE:	AS NOTED
DATE:	08/17/2026

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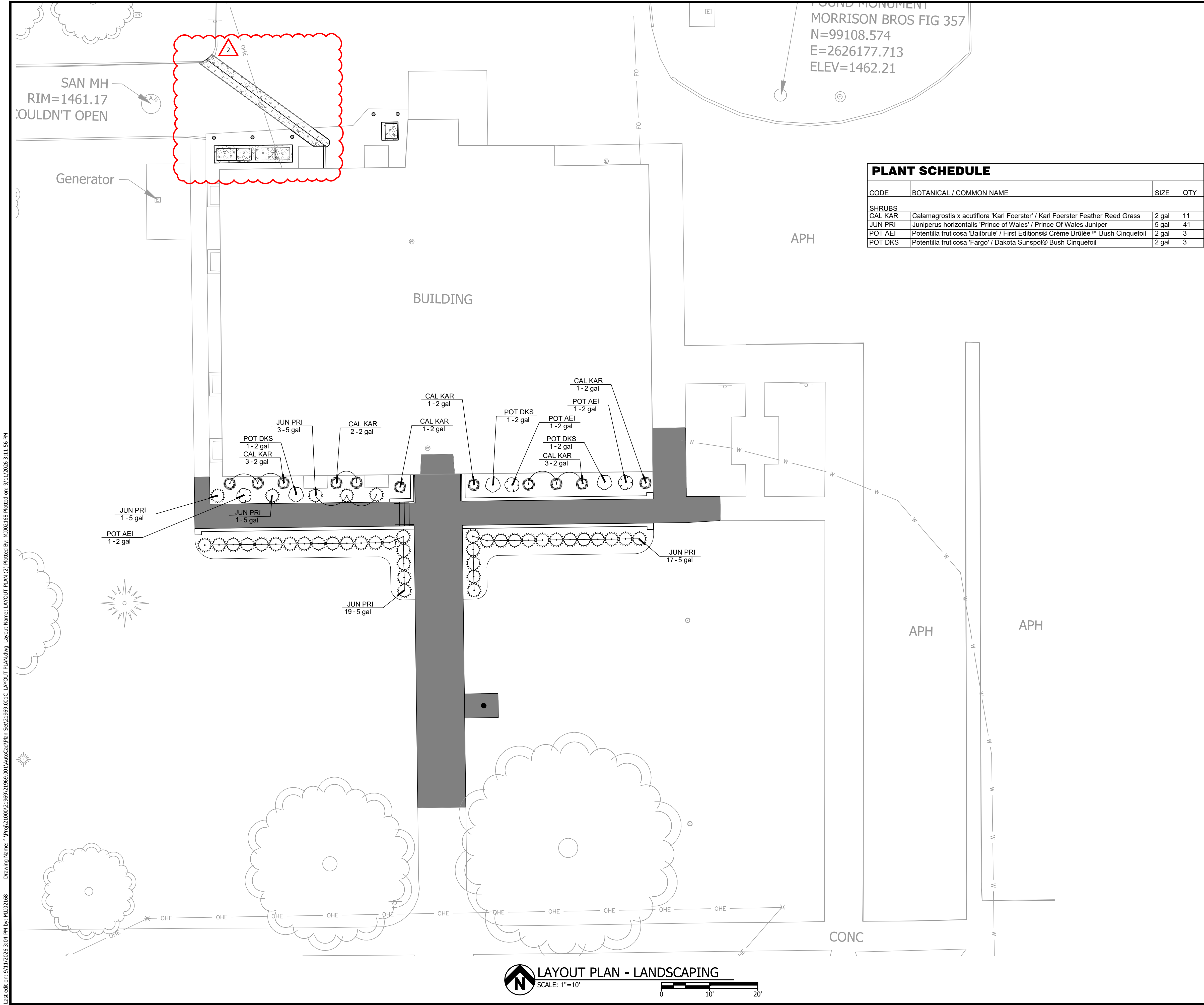
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Age Group	No opinion	Not a problem	Problem	Big problem	Very big problem
0-10	10%	10%	10%	10%	10%
10-20	10%	10%	10%	10%	10%
20-30	10%	10%	10%	10%	10%
30-40	10%	10%	10%	10%	10%
40-50	10%	10%	10%	10%	10%
50-60	10%	10%	10%	10%	10%
60-70	10%	10%	10%	10%	10%
70-80	10%	10%	10%	10%	10%
80-90	10%	10%	10%	10%	10%
90-100	10%	10%	10%	10%	10%

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APPROVED BY:	CBC
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PLANT SCHEDULE

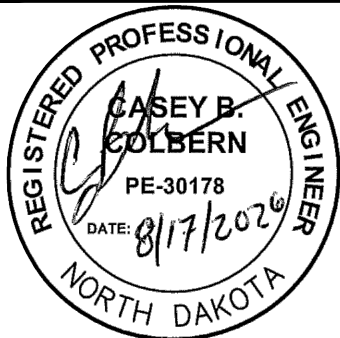
CODE	BOTANICAL / COMMON NAME	SIZE	QTY
SHRUBS			
CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	2 gal	11
JUN PRI	Juniperus horizontalis 'Prince of Wales' / Prince Of Wales Juniper	5 gal	41
POT AEI	Potentilla fruticosa 'Bailbrule' / First Editions® Crème Brûlée™ Bush Cinquefoil	2 gal	3
POT DKS	Potentilla fruticosa 'Fargo' / Dakota Sunspot® Bush Cinquefoil	2 gal	3

LAYOUT NOTES - LANDSCAPING

- GENERAL CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT SUBSTANTIAL COMPLETION.
- ALL PLANT MATERIALS SHALL MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-1990), INCLUDING SUPPLEMENTS.
- EACH TREE AND SHRUB SHALL BE SECURELY LABELED WITH A WATERPROOF TAG INDICATING BOTANICAL NAME AND COMMON NAME FOR DELIVERY TO SITE.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITH OUT THE APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT. ALL PLANTING LOCATIONS FOR TREES AND SHRUBS SHALL BE FLAGGED BY THE CONTRACTOR AND APPROVED BY THE OWNER, PRIOR TO INSTALLATION.
- ALL DISCREPANCIES AND/OR FIELD CHANGES SHALL BE REPORTED TO THE OWNER FOR APPROVAL PRIOR TO IMPLEMENTATION. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS OR OBSTRUCTIONS, LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE PLANTING.
- THE GENERAL CONTRACTOR SHALL VERIFY LOCATION OF AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS ON SITE THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL SHRUB AND TREE PLANTING AREAS SHALL BE EXCAVATED AND BACK-FILLED WITH PLANT MIX. PROVIDE FERTILIZER WITH NOT LESS THAN 5% TOTAL NITROGEN, 10% AVAILABLE PHOSPHORIC ACID AND 5% SOLUBLE POTASH. DISCARD SUBSOIL REMOVED FROM PLANTING AREA EXCAVATION; DO NOT MIX WITH PLANT MIX OR USE AS BACK-FILL. SEE DETAILS FOR COMPLETE PLANTING PREPARATION. PREPARE PLANTING AREAS AND INSTALL PLANTS COMPLETELY, PRIOR TO SODDING.
- PLANT MIX SHALL CONSIST OF TOPSOIL COMPLETELY FREE OF DEBRIS, ROCK IN EXCESS OF 1" IN DIAMETER, STICKS AND CLAY. MIX ONE PART COMPOSTED STABLE MANURE AND THREE PARTS TOPSOIL WITH FERTILIZER AS SPECIFIED ABOVE.
- ALL SHRUBS SHALL BE INSTALLED IN PROPOSED PLANTING BEDS AND COVERED WITH 3" LAYER OF 1" RIVER ROCK, OR EQUAL MATERIAL APPROVED BY THE OWNER.
- ALL DISTURBED AREAS NOT DESIGNATED AS PAVEMENT OR PLANTING BEDS SHALL BE SODDED WITH TURF TYPE KENTUCKY BLUEGRASS BLEND OR APPROVED EQUAL AT THE DIRECTION OF THE OWNER.
- ALL TURF AREAS, PLANTING BEDS AND ZONES DESIGNATED TO BE PLANTED SHALL CONSIST OF A MINIMUM 8" THICKNESS TOPSOIL FREE OF CLAY, DEBRIS, STICKS OR ROCKS IN EXCESS OF 1" IN DIAMETER.
- ALL TOPSOIL AREAS SHALL BE FINE GRADED AND RAKED, REMOVING RIDGES AND FILLING DEPRESSIONS AS REQUIRED TO MEET FINISHED GRADES AND CREATE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PRIOR TO (seeding or sodding), MOISTEN PREPARED TOPSOIL IF GROUND IS DRY. AFTER ONE MONTH FOLLOWING (seeding or sodding), APPLY FERTILIZER AT THE MANUFACTURER'S RECOMMENDED RATE FOR NEWLY ESTABLISHED LAWNS. AFTER TWO MONTHS FOLLOWING (seeding or sodding), APPLY GYPSUM AT THE RATE OF 100 LBS. PER 1000 SQ. FEET. THE GENERAL CONTRACTOR SHALL MAINTAIN ALL PLANTED OR TURF AREAS THROUGHOUT THE WARRANTY PERIOD AND SHALL PERFORM OPERATIONS SUCH AS ROLLING, REGRADING, RESEEDING, RESODDING, AND/OR REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH TURF SURFACE, FREE OF ERODED OR BARE AREAS.
- ALL UTILITY INFORMATION SHOWN HEREIN IS BASED ON THE INFORMATION AVAILABLE TO THE DESIGN PROFESSIONAL AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY ALL UTILITY DEPTHS AND LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO FIELD LOCATE AND/OR ADJUST THEIR UTILITY AS REQUIRED FOR CONSTRUCTION. ALL UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND THE DESIGN PROFESSIONAL ASSUMES NO LIABILITY FOR SAME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING THE AREAS AND QUANTITIES OF SOD NEEDED FOR OPTIMUM COVERAGE.
- REMOVE ANY EXCESS SOIL AND DEBRIS FROM AREA AND DISPOSE OF IN AN APPROVED MANNER.
- SPACING SHOWN FOR PLANTS IS FOR INFORMATION ONLY AND SHALL BE ADJUSTED AS REQUIRED TO PROVIDE UNIFORM SPACING WITHIN PLANTING BEDS.
- ALL LANDSCAPE BEDS AND MULCH SHALL BE INSTALLED IN SUCH A WAY THAT WATER DRAINS AWAY FROM A BUILDING.

Bartlett & West

**LAYOUT PLAN
LANDSCAPING
STEELE COUNTY
STEELE COUNTY COURTHOUSE
201 WASHINGTON AVE. W
FINELY, ND 58230**



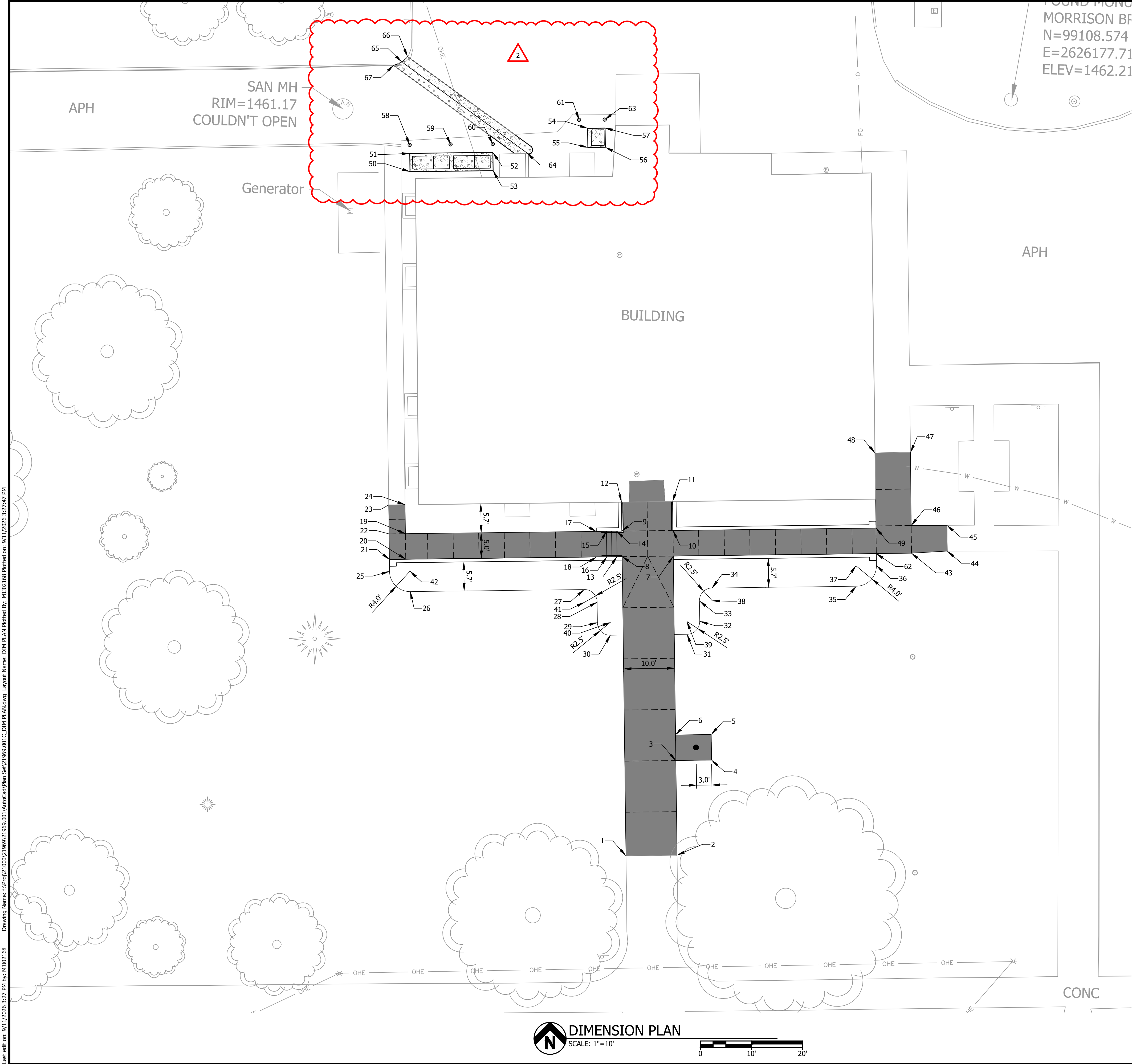
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DRAWN BY:	PRN
APPROVED BY:	CBC
DESIGN PROJ:	21969.001
CONST PROJ:	----
SCALE:	AS NOTED
DATE:	08/17/2026

C-201

Drawing Name: L:\Proj\21000\21969\21969.001\AutoCad\Plan Set\21969.001.C LAYOUT PLAN.dwg Layout Name: LAYOUT PLAN (2) Plotted By: MDJ02168 Plotted on: 9/11/2026 3:11:56 PM
Last edit on: 9/11/2026 3:04 PM by: MDJ02168

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BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

Point Table		
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5	198983.0941	2626121.7933
6	198982.8473	2626114.7976
7	199017.8263	2626113.5859
8	199017.4793	2626103.5919
9	199022.4763	2626103.4184
10	199022.8233	2626113.4124
11	199028.4866	2626113.2158
12	199028.1396	2626103.2218
13	199017.4446	2626102.5926
14	199022.4416	2626102.4191
15	199022.3722	2626100.4203
16	199017.3752	2626100.5938
17	199022.3028	2626098.4215
18	199017.3058	2626098.5950
19	199021.0077	2626061.1199
20	199016.0107	2626061.2934
21	199015.8998	2626058.0998
22	199020.8968	2626057.9263
23	199026.5600	2626057.7297
24	199026.6709	2626060.9233
25	199013.5645	2626058.1809
26	199009.7058	2626062.3173
27	199010.8864	2626096.3226
28	199008.4766	2626098.9078
29	199004.4734	2626099.0498
30	199002.0636	2626101.6369
31	199002.5845	2626116.6249
32	199005.1711	2626119.0352
33	199009.1672	2626118.8942
34	199011.7539	2626121.3059
35	199012.7321	2626149.4804
36	199016.8685	2626153.3392
37	199016.7297	2626149.3416
38	199009.2554	2626121.3926
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41	199008.3879	2626096.4093
42	199013.7033	2626062.1785
43	199019.4426	2626160.1370
44	199020.0120	2626167.1215
45	199025.0473	2626166.9467
46	199024.8526	2626159.9492
47	199039.1248	2626159.4894
48	199038.8843	2626152.5613
49	199024.2007	2626153.0846
50	199091.8151	2626060.4088
51	199095.3963	2626060.2852
52	199095.9566	2626076.5255
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59	199097.3311	2626068.2232
60	199097.6156	2626076.4683
61	199102.6878	2626093.2324
62	199019.2038	2626153.2581
63	199102.8606	2626098.2420

DESIGN QUANTITIES:

1371.5 SQ FT - 4" SIDEWALK
90.9 SQ FT - CONCRETE VALLEY GUTTER
141.25 LF - RETAINING WALL
974.5 SQ FT - RIVER ROCK
105.5 LF - STEEL LANDSCAPE EDGING
3109 SQ FT - SOD

2

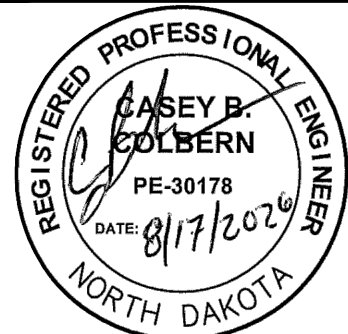
Point Table

Point #	Northing	Easting
64	199095.9787	2626083.2029
65	199113.2647	2626058.3003
66	199114.3200	2626059.4107
67	199112.5369	2626056.7178

Bartlett & West

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PHONE 701.258-1110 - FAX 701.258-1111
WWW.BARTLETTANDWEST.COM

**DIMENSION PLAN
AND QUANTITIES**
STEELE COUNTY
COURTHOUSE
201 WASHINGTON AVE. W
FINELY, ND 58230



DESIGNED BY:	PRN
DRAWN BY:	PRN
APPROVED BY:	CBC
DESIGN PROJ:	21969.001
CONST PROJ:	----
SCALE:	AS NOTED
DATE:	08/17/2026

DRAWING NO:

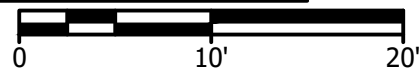
C-300

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GRADING PLAN

SCALE: 1"=10'



1. ALL QUANTITIES SHALL BE CALCULATED BY THE CONTRACTOR AND INCLUDE ALL SUBSIDIARY ITEMS NECESSARY TO COMPLETE THE WORK. THIS INCLUDES ALL CUT AND FILL REQUIRED TO MATCH THE FINISHED GRADES SHOWN IN THIS PLAN.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL PERMITS REQUIRED FOR THE SITE GRADING.
3. ALL AREAS DISTURBED DURING THE PROGRESS OF THIS PROJECT AND NOT DESIGNATED AS PAVEMENT SHALL BE FINISHED WITH 6" (MIN.) OF TOPSOIL AND GRADED/RESTORED TO EXISTING CONDITIONS PRIOR TO DISTURBANCE.
4. ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS.
5. GRADING PLAN REFLECTS TOP OF TURF OR PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL PROVIDE AND MAINTAIN POSITIVE DRAINAGE DURING ALL PHASES OF CONSTRUCTION.
7. EXISTING UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION WORK. ANY DAMAGE TO EXISTING STRUCTURES, UTILITIES, FENCES, AND/OR INCIDENTALS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL NOT PERFORM FINAL GRADING OR SODDING UNTIL ALL UTILITY INSTALLATIONS ARE COMPLETE.
9. NO SLOPES ON THIS SITE SHALL EXCEED 3 TO 1.

LEGEND

REGISTERED PROFESSIONAL ENGINEER
 CASEY B. COLBERN
 PE-30178
 DATE: 8/17/2026
 NORTH DAKOTA

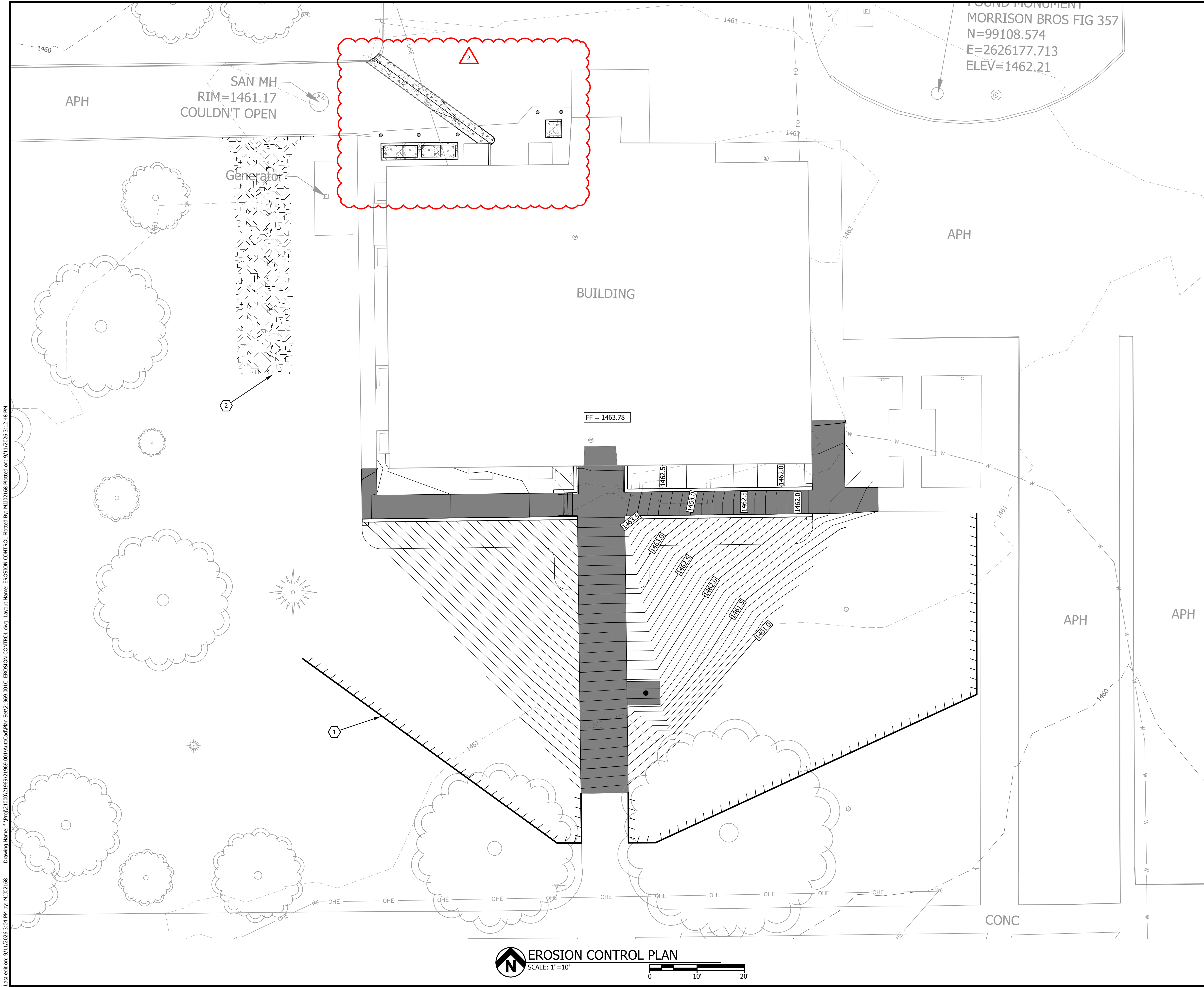
SIGNED BY:	PRN
DRAWN BY:	PRN
APPROVED BY:	CBC
SIGN PROJ:	21969.001
INST PROJ:	----
DATE:	AS NOTED
EXPIRATION DATE:	08/17/2026
DRAWING NO:	

C-400

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EROSION CONTROL NOTES

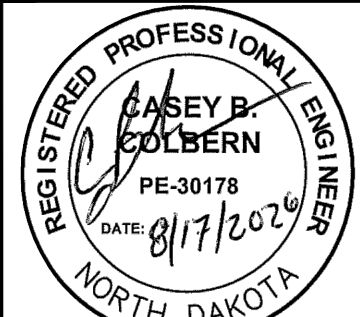
1. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING EARTHWORK OPERATIONS.
2. THE CONTRACTOR SHALL MAINTAIN ALL SILT CONTROL MEASURES DURING CONSTRUCTION.
3. ALL SILT SHALL REMAIN ON SITE AND SURROUNDING STREETS AND PARKING AREAS SHALL BE KEPT CLEAR OF ALL MUD AND DEBRIS.
4. A SEDIMENTATION BARRIER IS TO BE INSTALLED AS SHOWN. THE BARRIER SHALL BE CONSTRUCTED OF A CONTINUOUS SILT PERIMETER BARRIER SILT FENCE INSTALLED AS DETAILED ON SHEET C601. OTHER ITEMS SUCH AS STRAW WATTLES MAY BE USED. LOW AREAS OR AREAS OF CONCENTRATED FLOW SHALL BE REINFORCED AS DETAILED.
5. ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE SEDIMENTATION BARRIERS MAINTAINED AS NEEDED TO PREVENT SEDIMENTATION BYPASS OF THE BARRIER.
6. SLOPES ARE TO BE LEFT IN A ROUGH CONDITION DURING GRADING.
7. CURB INLET SEDIMENTATION BARRIERS ARE TO BE INSTALLED AROUND INLETS AND WEIRS WHERE SEDIMENTATION IS A CONCERN. INLET BARRIERS SHALL BE EITHER BLOCK AND GRAVEL, OR SECURED STRAW BALES, OR SILT FENCE.
8. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL 70% GROUND COVER HAS BEEN ESTABLISHED.
9. SEDIMENT IS TO BE REMOVED FROM STORM WATER DRAINAGE SYSTEMS.
10. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL AS HE/SHE DEEMS NECESSARY OR AS REQUIRED BY THE CITY OF FINLEY, STATE OF NORTH DAKOTA DNR, UNITED STATES EPA OR THE ENGINEER.
11. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR AS NECESSARY TO INSTALL AND MAINTAIN ADEQUATE EROSION AND SILTATION CONTROLS REQUIRED TO PREVENT SOIL EROSION FROM LEAVING THE PROJECT SITE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT METHODS UTILIZED ARE ADEQUATE AND COMPLY WITH REQUIREMENTS OF THE SPECIFICATIONS AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
12. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR RESOLVING COMPLAINTS IN THE EVENT THAT COMPLAINTS OR DAMAGE CLAIMS ARE FILED DUE TO DAMAGES OCCURRING ADJACENT TO OR DOWNSTREAM FROM PROPERTY BY SEDIMENT RESULTING FROM EROSION ON THE PROJECT SITE.
13. AT COMPLETION OF SITE GRADING AND OTHER RELATED CONSTRUCTION ACTIVITIES, ALL DISTURBED AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED, SODDED, OR LANDSCAPED, AS SHOWN ON THE LANDSCAPE PLAN.
14. TOPSOIL IS TO BE PLACED IN AREAS UNSUITABLE FOR VEGETATIVE GROWTH.
15. TEMPORARILY SEED ANY DISTURBED AREAS WHICH WILL NOT BE BROUGHT TO FINAL GRADE WITHIN 30 DAYS.

REFERENCE NOTES:

- 1 PERIMETER SILT CONTROL (SILT FENCE OR STRAW WATTLES)
- 2 CONSTRUCTION ENTERANCE, SEE DETAIL ON SHEET C-601

EROSION CONTROL PLAN

STEELE COUNTY
STEELE COUNTY COURTHOUSE
201 WASHINGTON AVE. W
FINLEY, ND 58230



DESIGNED BY:	PRN
DRAWN BY:	PRN
APPROVED BY:	CBC
DESIGN PROJ:	21969.001
CONST PROJ:	----
SCALE:	AS NOTED
DATE:	08/17/2024

DRAWING NO:
C-500

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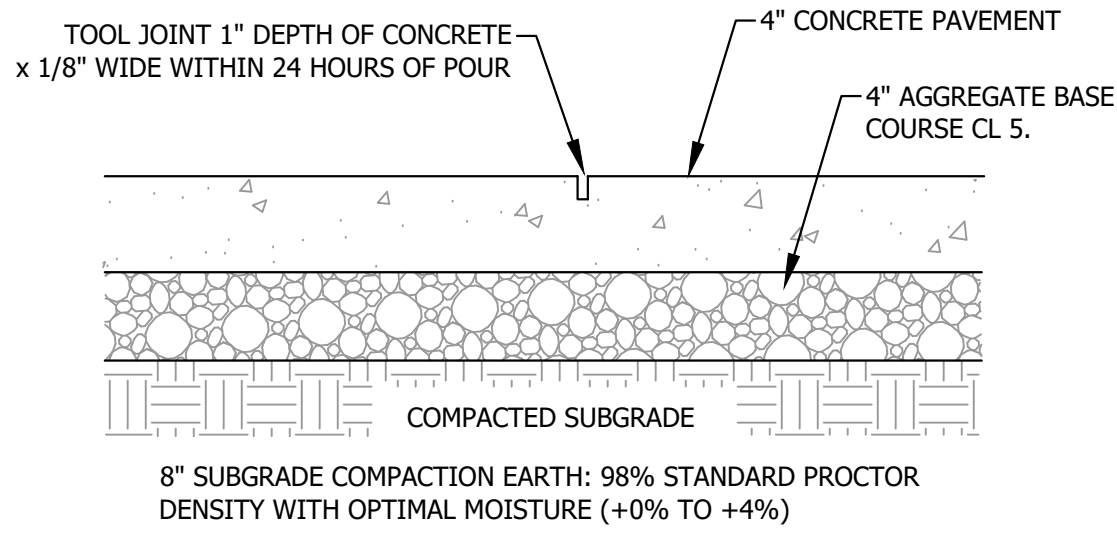
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BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

Last edit on: 9/17/2026 3:04 PM by: MJD2188 Drawing Name: I:\Proj\21000\21969\21969.001\AutoCad\Plan Set\21969.001.C EROSION CONTROL.dwg Layout Name: EROSION CONTROL Plotted by: MJD2188 Plotted on: 9/11/2026 3:12:48 PM

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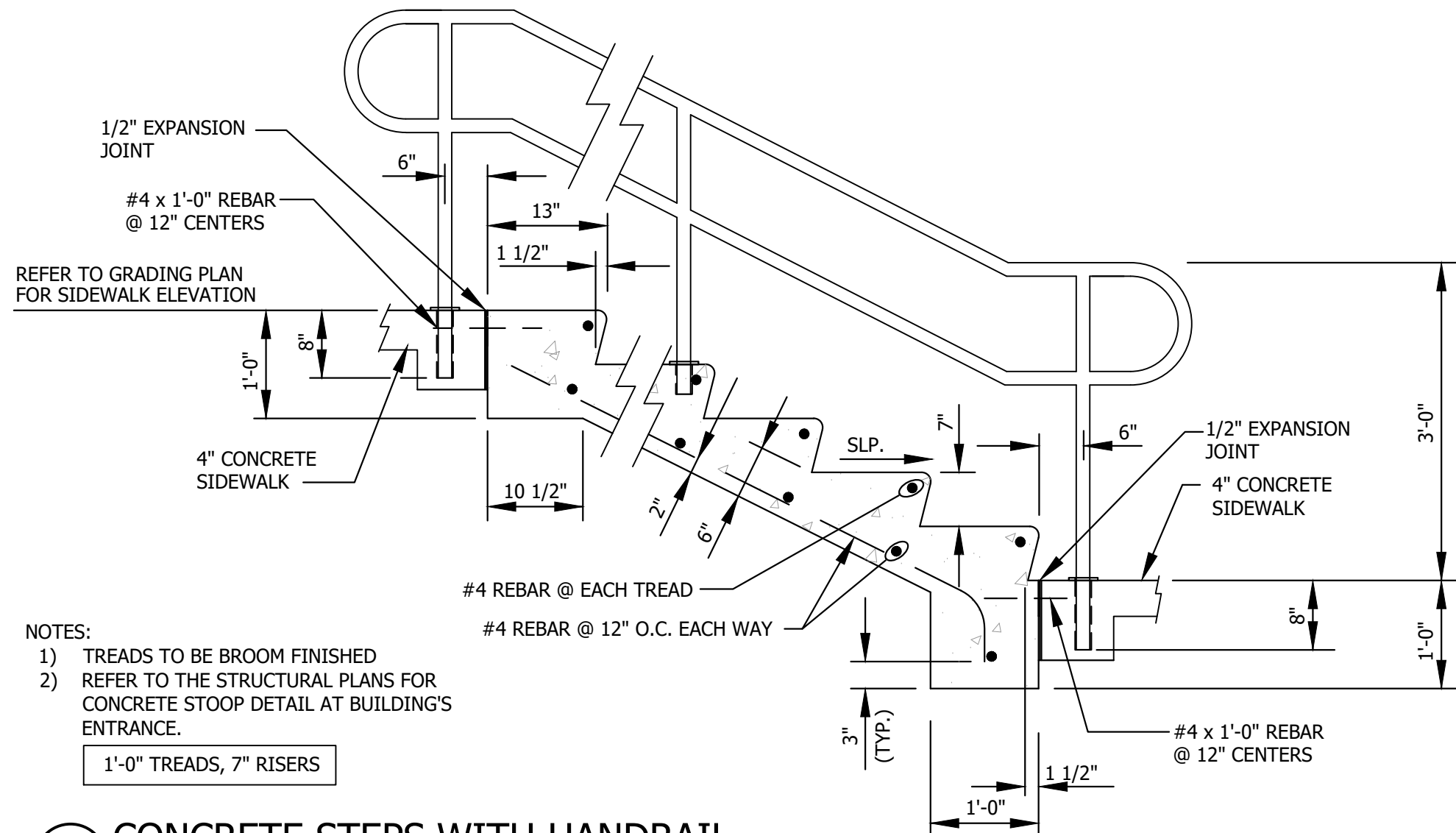
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Drawing Name: I:\Proj\210900\21969\21969.001\AutoCad\Plan Set\21969.001.C DETAILS.dwg Layout Name: DET 01 Plotted By: MJD02168 Plotted on: 9/11/2026 3:13:03 PM



NOTE: PLACE EXPANSION JOINT BETWEEN ALL SIDEWALKS AND CURB & GUTTER OR BUILDING FACE.

1 4" CONCRETE SIDEWALK PAVEMENT

NOT TO SCALE

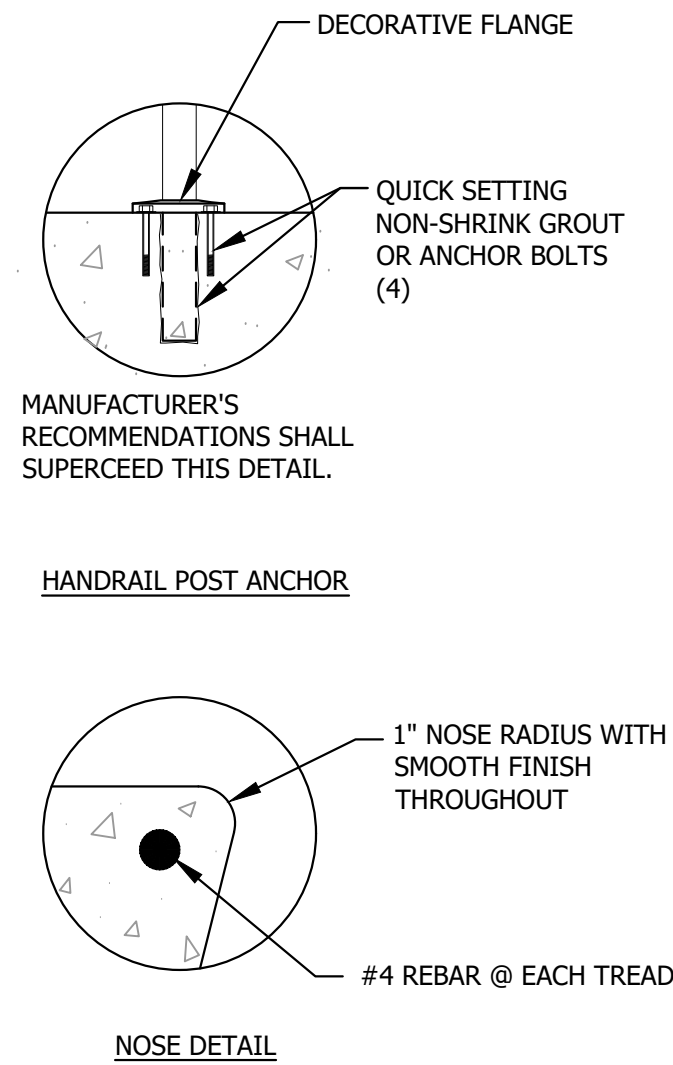


- NOTES:
- TREADS TO BE BROOM FINISHED
 - REFER TO THE STRUCTURAL PLANS FOR CONCRETE STOOP DETAIL AT BUILDING'S ENTRANCE.

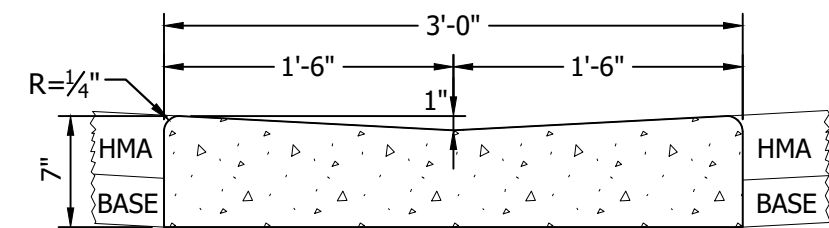
1'-0" TREADS, 7" RISERS

2 CONCRETE STEPS WITH HANDRAIL

NOT TO SCALE



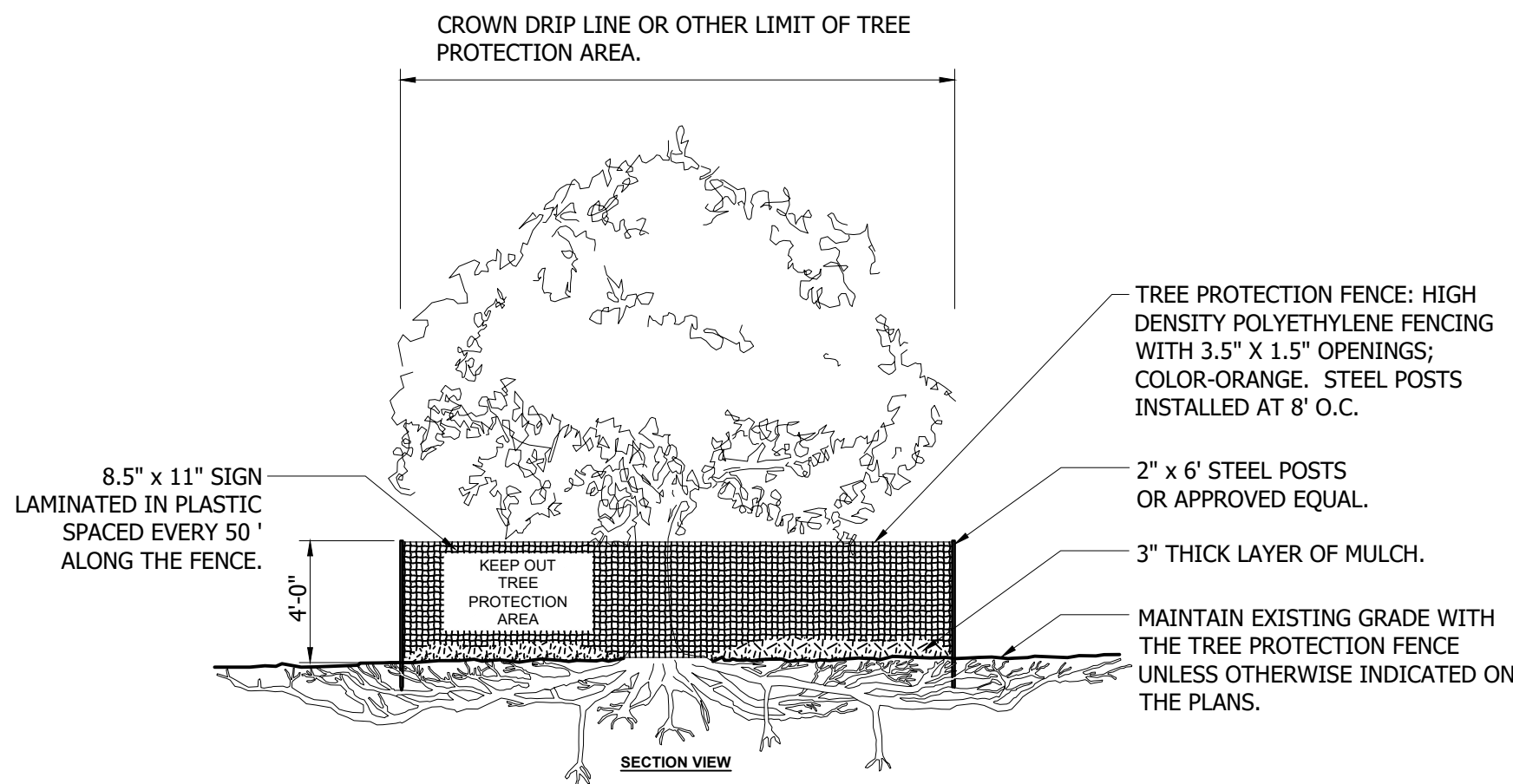
BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.



8 36" CONCRETE VALLEY GUTTER DETAIL

NOT TO SCALE

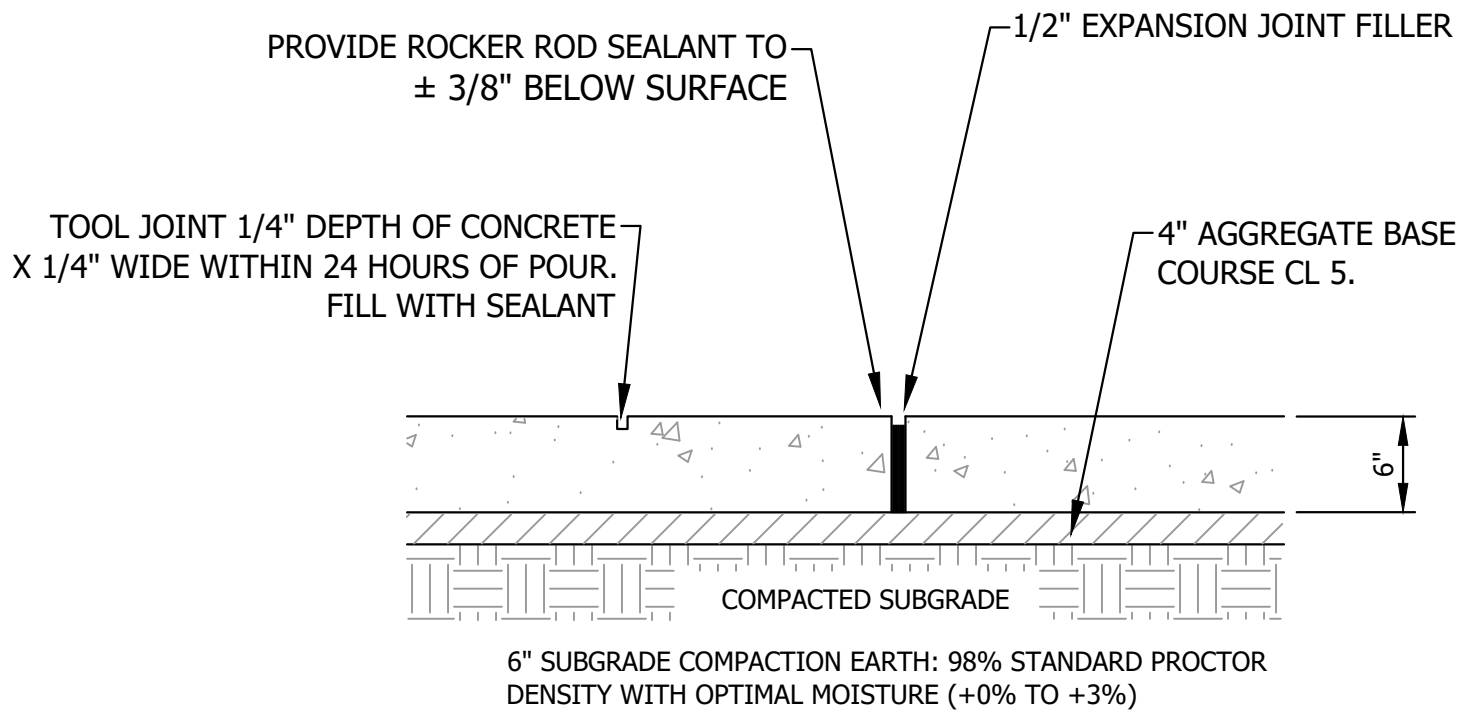
HANDRAIL: REFER TO ARCHITECTURAL PLANS FOR ALL HANDRAIL INFORMATION. GENERIC EXAMPLE IS SHOWN HERE ONLY. CONTRACTOR TO PROCURE HANDRAIL MANUFACTURER/FABRICATOR AND SHALL VERIFY DETAIL WITH ARCHITECT PRIOR TO ORDERING. CONTRACTOR SHALL OBTAIN SHOP DRAWING FOR ARCHITECT APPROVAL. ARCHITECTURAL HANDRAIL DETAILS SHALL SUPERCEDE THIS DETAIL. PRIME AND PAINT HANDRAIL AS DIRECTED BY ARCHITECT AND APPROVED BY OWNER



- Notes:
- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.

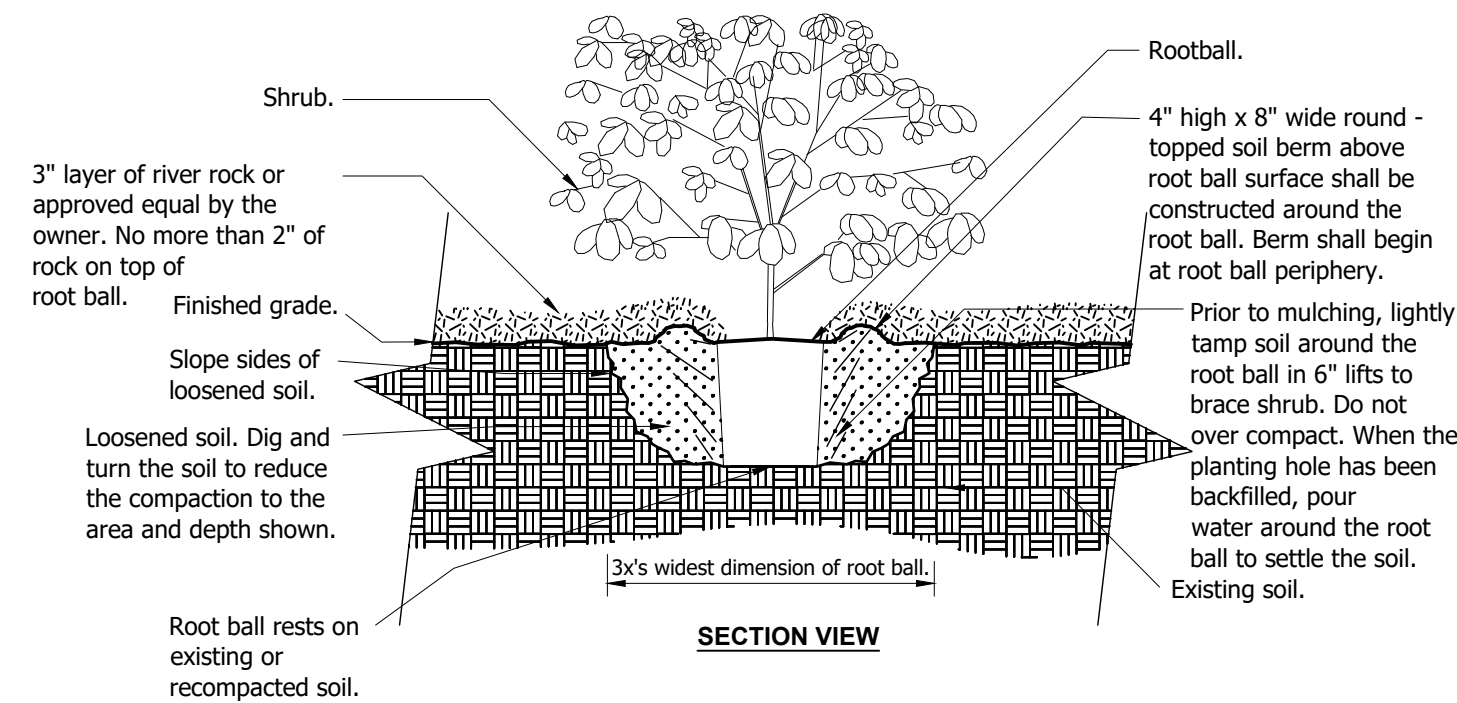
3 TREE PROTECTION DETAIL

NOT TO SCALE



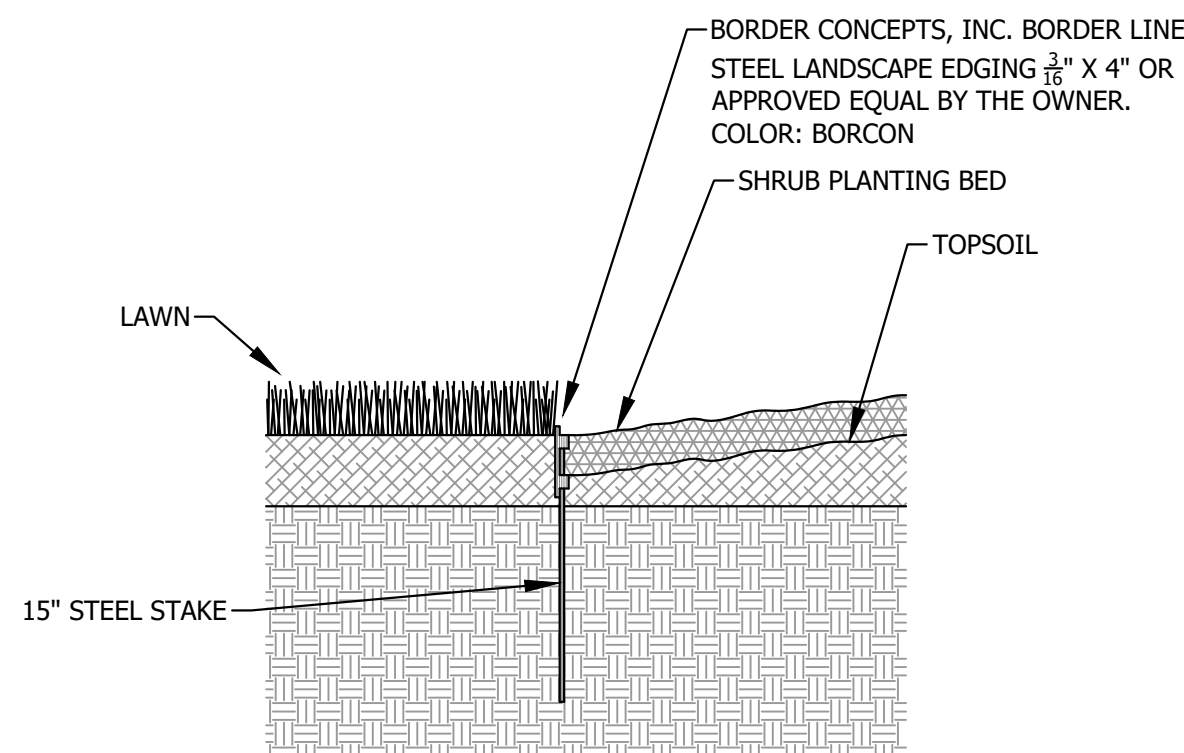
4 6" NON-REINFORCED CONCRETE PAVEMENT

NOT TO SCALE



5 SHRUB

NOT TO SCALE

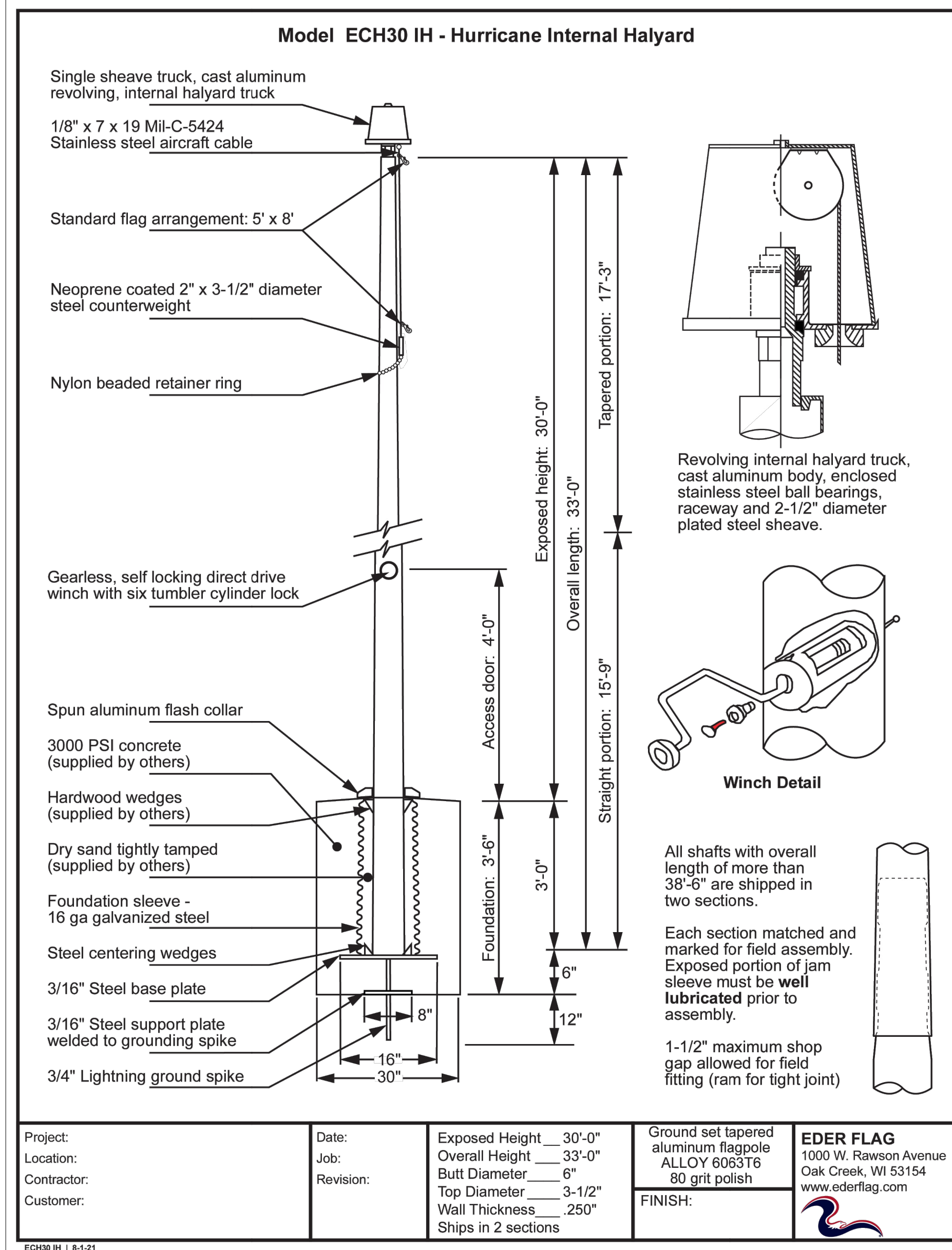


- NOTES:
- STEEL EDGING SHALL BE BORDER CONCEPTS BORDER GUARD 4" STEEL EDGING OR APPROVED EQUAL BY THE OWNER.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR TO COORDINATE DELIVERY AND INSTALLATION WITH THE MANUFACTURER.

<https://www.borderconcepts.com/products/commercial/edging-steel-iron-edging>

6 STEEL EDGING

NOT TO SCALE



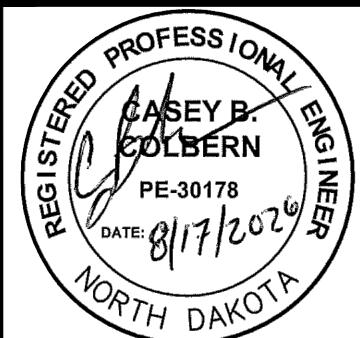
Project:	Date:	Exposed Height	Ground set tapered aluminum flagpole	EDER FLAG 1000 W. Rawson Avenue Oak Creek, WI 53154 www.ederflag.com
Location:	Job:	Overall Height	ALLOY 6063T6	
Contractor:	Revision:	Butt Diameter	80 grit polish	
Customer:		Top Diameter		
		Wall Thickness		
		Ships in 2 sections		

7 30' FLAG POLE

NOT TO SCALE

SITE DETAILS

STEELE COUNTY
STEELE COUNTY COURTHOUSE
201 WASHINGTON AVE. W
FINELY, ND 58230



DESIGNED BY:	PRN
DRAWN BY:	PRN
APPROVED BY:	CBC
DESIGN PROJ:	21969.001
CONST PROJ:	----
SCALE:	AS NOTED
DATE:	08/17/2026

DRAWING NO:

C-600

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2.	DO NOT SCALE DRAWINGS	6.	CONTRACTOR(S) TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND/OR CONSTRUCTION.
3.	THIS IS A REMODEL/ADDITION TO AN EXISTING BUILDING. CONTRACTOR(S) TO VERIFY ALL EXISTING ON-SITE CONDITIONS. CONTRACTOR(S) TO PROTECT EXISTING CONDITIONS FROM GOING WORK.	7.	THE DIVISION OF LABOR SHALL BE AS PER THE PROJECT SPECIFICATION MANUAL AND NOT THE NOTATION SYSTEM OF THE DRAWINGS.
4.	OWNER WILL OCCUPY THE BUILDING DURING THE WORK. CONDUCT WORK IN A MANNER THAT WILL MINIMIZE DISRUPTION OF OWNERS OPERATIONS.	8.	SEE DEMOLITION SHEETS FROM EACH DISCIPLINE FOR SPECIFIC REQUIREMENTS.
		9.	EVALUATE ALL EXTERIOR MASONRY PER SECTION 040300. PROVIDE CLEANING, REPAIR, REPOINTING, AND REPLACEMENT AS REQUIRED.

1 REMOVE AND DISPOSE OF GLAZING INFILL PANELS
PREP AND CLEAN ALUMINUM WINDOWS FOR NEW
GLAZING (ALT 1). REMOVE AC WINDOW UNITS
(SEE MECH).

2 LIMESTONE CORNICE STONEMWORK HAS BEEN
OBSERVED TO BE DETEIORATED AND SPALLING.
EVALUATE FOR REPLACEMENT AS SPECIFIED IN
SECTION 040300 PRIOR TO REPOINTING AND
CLEANING.

LOCATIONS SHOWN DO NOT REPRESENT ALL
REQUIRED REPLACEMENTS. AS NOTED IN THE
GENERAL NOTES AND SECTION 040300, EVALUATE
ALL MASONRY AND STONEMWORK FOR
DETERIORATION, SPALLING, CRACKING, OR OTHER
CONDITIONS BEYOND REPAIR, AND REPLACE AS
REQUIRED PRIOR TO REPOINTING.

[illegible]

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SOUTH DEMOLITION ELEVATION

STEELE COUNTY COURTHOUSE
201 Washington Ave. W
Finley, ND 58230



DESIGNED BY:	JPL
DRAWN BY:	JBN
APPROVED BY:	JPL
DESIGN PROJ:	021969.000
CONST PROJ:	---
SCALE:	AS NOTED
DATE:	08/17/2026
DRAWING NO:	

AD-201

1.	DO NOT SEPARATE THIS DRAWING SET. THIS SET IS INTENDED TO BE REVIEWED AND USED IN ITS ENTIRETY. PARTIAL DISTRIBUTION OR REFERENCING OF INDIVIDUAL SHEETS WITHOUT THE COMPLETE CONTEXT MAY RESULT IN MISINTERPRETATION OR CONSTRUCTION ERRORS	5.	PROVIDE TEMPORARY BARRIERS TO PROTECT OWNERS PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK. TEMPORARY BARRIERS SHOULD KEEP OUT DUST, CONSTRUCTION DEBRIS, AND MINIMIZE NOISE IN OWNER OCCUPIED SPACES.
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1 REMOVE AND DISPOSE OF GLAZING INFILL PANELS PREP AND CLEAN ALUMINUM WINDOWS FOR NEW GLAZING (ALT 1). REMOVE AC WINDOW UNITS (SEE MECH).

2 LIMESTONE CORNICE STONEMWORK HAS BEEN OBSERVED TO BE DETEIORATED AND SPALLING. EVALUATE FOR REPLACEMENT AS SPECIFIED IN SECTION 040300 PRIOR TO REPOINTING AND CLEANING.

LOCATIONS SHOWN DO NOT REPRESENT ALL REQUIRED REPLACEMENTS, AS NOTED IN THE GENERAL NOTES AND SECTION 040300, EVALUATE ALL MASONRY AND STONEMWORK FOR DETEIORATION, SPALLING, CRACKING, OR OTHER CONDITIONS BEYOND REPAIR, AND REPLACE AS REQUIRED PRIOR TO REPOINTING.

[illegible]

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NORTH DEMOLITION ELEVATION

STEELE COUNTY COURTHOUSE
201 Washington Ave. W
Finley, ND 58230



DESIGNED BY:	JPL
DRAWN BY:	JBN
APPROVED BY:	JPL
DESIGN PROJ:	021969.000
CONST PROJ:	---
SCALE:	AS NOTED
DATE:	08/17/2026
DRAWING NO:	

AD-202

1.	DO NOT SEPARATE THIS DRAWING SET. THIS SET IS INTENDED TO BE REVIEWED AND USED IN ITS ENTIRETY. PARTIAL DISTRIBUTION OR REFERENCING OF INDIVIDUAL SHEETS WITHOUT THE COMPLETE CONTEXT MAY RESULT IN MISINTERPRETATION OR CONSTRUCTION ERRORS	5.	PROVIDE TEMPORARY BARRIERS TO PROTECT OWNERS PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK. TEMPORARY BARRIERS SHOULD KEEP OUT DUST, CONSTRUCTION DEBRIS, AND MINIMIZE NOISE IN OWNER OCCUPIED SPACES.
2.	DO NOT SCALE DRAWINGS	6.	CONTRACTOR(S) TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND/OR CONSTRUCTION.
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1 REMOVE AND DISPOSE OF GLAZING INFILL PANELS
PREP AND CLEAN ALUMINUM WINDOWS FOR NEW
GLAZING (ALT 1). REMOVE AC WINDOW UNITS
(SEE MECH).

2 LIMESTONE CORNICE STONEMWORK HAS BEEN
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[illegible]

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EAST DEMOLITION ELEVATION

STEELE COUNTY COURTHOUSE
201 Washington Ave. W
Finley, ND 58230



DESIGNED BY:	JPL
DRAWN BY:	JBN
APPROVED BY:	JPL
DESIGN PROJ:	021969.000
CONST PROJ:	---
SCALE:	AS NOTED
DATE:	08/17/2026
DRAWING NO:	

AD-203

1.	DO NOT SEPARATE THIS DRAWING SET. THIS SET IS INTENDED TO BE REVIEWED AND USED IN ITS ENTIRETY. PARTIAL DISTRIBUTION OR REFERENCING OF INDIVIDUAL SHEETS WITHOUT THE COMPLETE CONTEXT MAY RESULT IN MISINTERPRETATION OR CONSTRUCTION ERRORS	5.	PROVIDE TEMPORARY BARRIERS TO PROTECT OWNERS PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK. TEMPORARY BARRIERS SHOULD KEEP OUT DUST, CONSTRUCTION DEBRIS, AND MINIMIZE NOISE IN OWNER OCCUPIED SPACES.
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[illegible]

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www.bartlettwest.com

WEST DEMOLITION ELEVATION

STEELE COUNTY COURTHOUSE
201 Washington Ave. W
Finley, ND 58230



DESIGNED BY:	JPL
DRAWN BY:	JBN
APPROVED BY:	JPL
DESIGN PROJ:	021969.000
CONST PROJ:	---
SCALE:	AS NOTED
DATE:	08/17/2026
DRAWING NO:	

AD-204

Drawing Location: C:\Users\jpl0162\OneDrive - Bartlett & West, Inc\Documents\21969.001 - Steele County Courthouse Arch_V26_john.miller\CDIBR.vrt



REFERENCE NOTES:			BY	JPL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							</
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GENERAL NOTES:

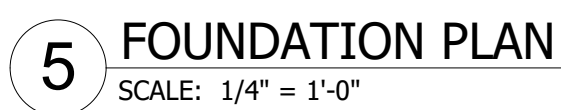
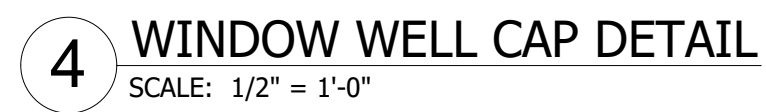
- DO NOT SEPARATE THIS DRAWING SET. THIS SET IS INTENDED TO BE REVIEWED AND USED IN ITS ENTIRETY. PARTIAL DISTRIBUTION OR REFERENCING OF INDIVIDUAL SHEETS WITHOUT THE COMPLETE CONTEXT MAY RESULT IN MISINTERPRETATION OR CONSTRUCTION ERRORS
- DO NOT SCALE DRAWINGS
- THIS IS A REMODEL/ADDITION TO AN EXISTING BUILDING. CONTRACTOR(S) TO VERIFY ALL EXISTING ON-SITE CONDITIONS. CONTRACTOR(S) TO PROTECT EXISTING CONDITIONS FROM ON GOING WORK.
- OWNER WILL OCCUPY THE BUILDING DURING THE WORK. CONDUCT WORK IN A MANNER THAT WILL MINIMIZE DISRUPTION OF OWNERS OPERATIONS.
- PROVIDE TEMPORARY BARRIERS TO PROTECT OWNERS PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK. TEMPORARY BARRIERS SHOULD KEEP OUT DUST, CONSTRUCTION DEBRIS, AND MINIMIZE NOISE IN OWNER OCCUPIED SPACES.
- CONTRACTOR(S) TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND/OR CONSTRUCTION.
- THE DIVISION OF LABOR SHALL BE AS PER THE PROJECT SPECIFICATION MANUAL AND NOT THE NOTATION SYSTEM OF THE DRAWINGS.
- EVALUATE ALL EXTERIOR MASONRY PER SECTION 040300. PROVIDE CLEANING, REPAIR, REPOINTING, AND REPLACEMENT AS REQUIRED.**

WEST ELEVATIONS

STEELE COUNTY COURTHOUSE
201 Washington Ave. W
Finley, ND 58230

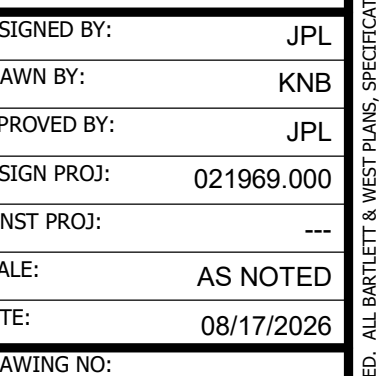


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APPROVED BY: JPL
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SCALE: AS NOTED
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201 Washington Ave. W
Finley, ND 58230



A-301

Drawing Location: K:\Projects\2026\371\0157-BW - Steele County Courthouse Design\Drawings\Electrical\2026\371\0157 - Steele Co Courthouse Electrical V26.rvt

ELECTRICAL SYMBOLS LEGEND			
LIGHTING		POWER DISTRIBUTION	
	2'x4' RECESSED LUMINAIRE		DUPLX RECEPTACLE ("WP" = WEATHERPROOF, "IG" = ISOLATED GROUND)
	2'x2' RECESSED LUMINAIRE		DUPLX GFCI RECEPTACLE
	1'x4' RECESSED LUMINAIRE		QUAD RECEPTACLE - CAN BE USED WITH OTHER TYPES
	2'x4' RECESSED LUMINAIRE CONNECTED TO EMERGENCY POWER SOURCE		SPECIAL PURPOSE RECEPTACLE
	WALL MOUNTED LUMINAIRE		SPECIAL CONNECTION - REFER TO EQUIPMENT SCHEDULE
	CEILING MOUNTED LUMINAIRE		PANELBOARD
	RECESSED DOWNLIGHT		FLOORBOX
	SURFACE CEILING MOUNTED LUMINAIRE		CEILING MOUNTED CORD DROP
	SURFACE WALL MOUNTED LUMINAIRE		BASEBOARD HEATER - REFER TO SCHEDULE
	EXTERIOR AREA LUMINAIRE		ELECTRIC HEATER - REFER TO SCHEDULE
	EXIT SIGN		SAFETY DISCONNECT - "F" = FUSIBLE
	EMERGENCY BATTERY UNIT		PUSH BUTTON
	REMOTE EMERGENCY HEAD		MANUAL MOTOR CONTROLLER
	EMERGENCY LIGHTING RELAY		COMBINATION MOTOR CONTROLLER
CIRCUITRY			MOTOR - REFER TO SCHEDULE
	CEILING MOUNTED JUNCTION BOX		OVERHEAD DOOR PUSH BUTTON
	WALL MOUNTED JUNCTION BOX	FIRE ALARM	
FIRE ALARM CIRCUITRY, 3/4" CONDUIT WITH 4-#14 AWG FOR ANNUNCIATION AND 1-"A CABLE" (2c.#18) INITIATING.			CONTROL CABINET
POWER CIRCUITRY, 3/4" CONDUIT WITH 6-#12 AWG CURRENT CARRYING CONDUCTORS. EGC IS NOT SHOWN FOR CLARITY.			CEILING MOUNTED DETECTOR - "PI" = PHOTOELECTRIC; "CO" = CARBON MONOXIDE
CONTROL			CEILING MOUNTED RATE OF RISE DETECTOR
	SINGLE POLE SWITCH		CEILING MOUNTED FIXED TEMPERATURE DETECTOR
	LIGHTING SWITCH - (NUMBER/LETTER DESIGNATES TYPE; 2 = 2-POLE, 3 = 3-WAY, 4 = 4-WAY, O = OCC SENSOR)		DUCT MOUNTED DETECTOR - "PI" = PHOTOELECTRIC; "I" = IONIZATION
	LOW VOLTAGE SWITCH		MANUAL PULL STATION
	DMX CONTROLLER		EXTERIOR BELL
	SINGLE POLE DIMMER		HORN/STROBE
	DIMMER SWITCH - (NUMBER/LETTER DESIGNATES TYPE; 2 = 2-POLE, 3 = 3-WAY, 4 = 4-WAY, O = OCC SENSOR)		SPREAKER/STROBE - "CM" = CEILING MOUNT
	GENERAL PURPOSE RELAY; NUMBER INDICATES NUMBER OF POLES.		CHIME/STROBE - "CM" = CEILING MOUNT
	DEFINITE PURPOSE CONTACTOR; NUMBER INDICATES NUMBER OF POLES.		STROBE LIGHT
	CEILING MOUNTED OCCUPANCY SENSOR		MAGNETIC DOOR HOLDER
	THERMOSTAT - "E" = PROVIDED BY DIVISION 16 CONTRACTORS; OTHERWISE FURNISHED BY THE DIVISION 15 CONTRACTOR.		FAN SHUT DOWN RELAY
	PHOTO CONTROLLER		INDIVIDUALLY ADDRESSABLE INPUT MODULE
	DIMMING/POWER RELAY PACK		INDIVIDUALLY ADDRESSABLE RELAY MODULE
			FLOW SWITCH; FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR - WIRED BY ELECTRICAL CONTRACTOR
			TAMPER SWITCH; FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR - WIRED BY ELECTRICAL CONTRACTOR
			FIRE/SMOKE DAMPER. FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR - WIRED BY ELECTRICAL CONTRACTOR
		COMMUNICATIONS SYSTEMS	
			WALL MOUNTED CABINET
			EQUIPMENT RACK
			VIDEO SURVEILLANCE CAMERA - ARROW DESIGNATES COVERAGE DIRECTION
			CARD READER
			CLOCK
			WALL MOUNTED SPEAKER
			CEILING SPEAKER
			VOLUME CONTROLLER
			MICROPHONE INPUT
			AUXILIARY INPUT
			AUDIO/VIDEO INPUT (HDMI)
			TELECOMMUNICATIONS OUTLET
			TELEVISION OUTLET
			WIRELESS ACCESS POINT
			TELEMETRY UNIT
		NURSE CALL SYSTEMS	
			NURSE CALL SYSTEM CABINET
			NURSE CALL REMOTE ANNUNCIATOR
			ZONE LIGHT - WALL MOUNT AT 80" A.F.F. OR CEILING MOUNT AS DIRECTED.
			CORRIDOR LIGHT - WALL MOUNT AT 80" A.F.F. OR CEILING MOUNT AS DIRECTED.
			NURSE CALL STATION - WALL MOUNT AT 48" A.F.F. OR AS DIRECTED; 'B' = CODE BLUE 'BI' = BED INTERFACE 'CP' = CODE PINK 'D' = DUTY STATION 'ID' = INDICATOR 'L' = LOCATOR (STATUS) STATION 'MS' = MASTER STATION 'O' = OPTICAL INTERFACE JACK 'P' = PATIENT STATION 'S' = STAFF ASSIST - CALL STATION 'T' = TOILET STATION 'TV' = TELEVISION INTERFACE
		ABBREVIATIONS	
		E.C. = ELECTRICAL CONTRACTOR	
		M.C. = MECHANICAL CONTRACTOR	
		G.C. = GENERAL CONTRACTOR	
		AC = MOUNT 4" ABOVE BACKSPLASH (VERIFY HEIGHT)	
		BC = MOUNT BELOW COUNTER AT STANDARD MOUNTING HEIGHT	
		UC = MOUNT IN UPPER CABINET (VERIFY LOCATION)	
		MW = MICROWAVE - MOUNT IN SPACE BEHIND MICROWAVE LOCATION	
		RF = REFRIGERATOR - SEE SCHEDULE	
		VM = VENDING MACHINE - SEE SCHEDULE	

DEMOLITION NOTES:

ON THE ELECTRICAL PLAN SHEETS; ITEMS SHOWN AS DASHED ARE EXISTING TO BE REMOVED. ITEMS SHOWN AS THIN SOLID LINES ARE EXISTING TO REMAIN. CONTRACTOR SHALL VERIFY ALL ELECTRICAL EQUIPMENT SCHEDULED FOR REMOVAL WITH THE OWNER. IF OWNER DETERMINES THEY WANT TO KEEP ITEMS, CONTRACTOR SHALL ASSIST IN PALLETIZING AND LOADING. OWNER WILL TRANSPORT FROM PROJECT SITE.

DEMOLITION

EXISTING TO REMAIN

NEW

PROJECT GENERAL NOTES:

THE EXISTING CONDITIONS HAVE BEEN VERIFIED BASED ON THE OWNER'S ASSISTANCE, CASUAL ON-SITE OBSERVATION, AND THE EXISTING PROJECT DRAWINGS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO BIDDING AND STARTING OF ANY WORK. STARTING OF ANY WORK MEANS THE CONTRACTOR ACCEPTS THE EXISTING CONDITIONS AND UNDERSTANDS THE SCOPE OF THE PROJECT. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR THE CONTRACTOR'S LACK OF UNDERSTANDING OF THE EXISTING BUILDING CONDITIONS. IF A DISCREPANCY SHOULD EXISTS THE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE ENGINEER/OWNER FOR A DECISION. CONTRACTOR SHALL COORDINATE ALL PARTIAL/FULL SYSTEM OUTAGES WITH THE OWNER AND ENGINEER 48 HOURS BEFORE STARTING WORK ON THE SYSTEM.

PROJECT POINT OF CONTACT

JOHN KLEIN

APEX ENGINEERING GROUP

600 S 2ND STREET, SUITE 145

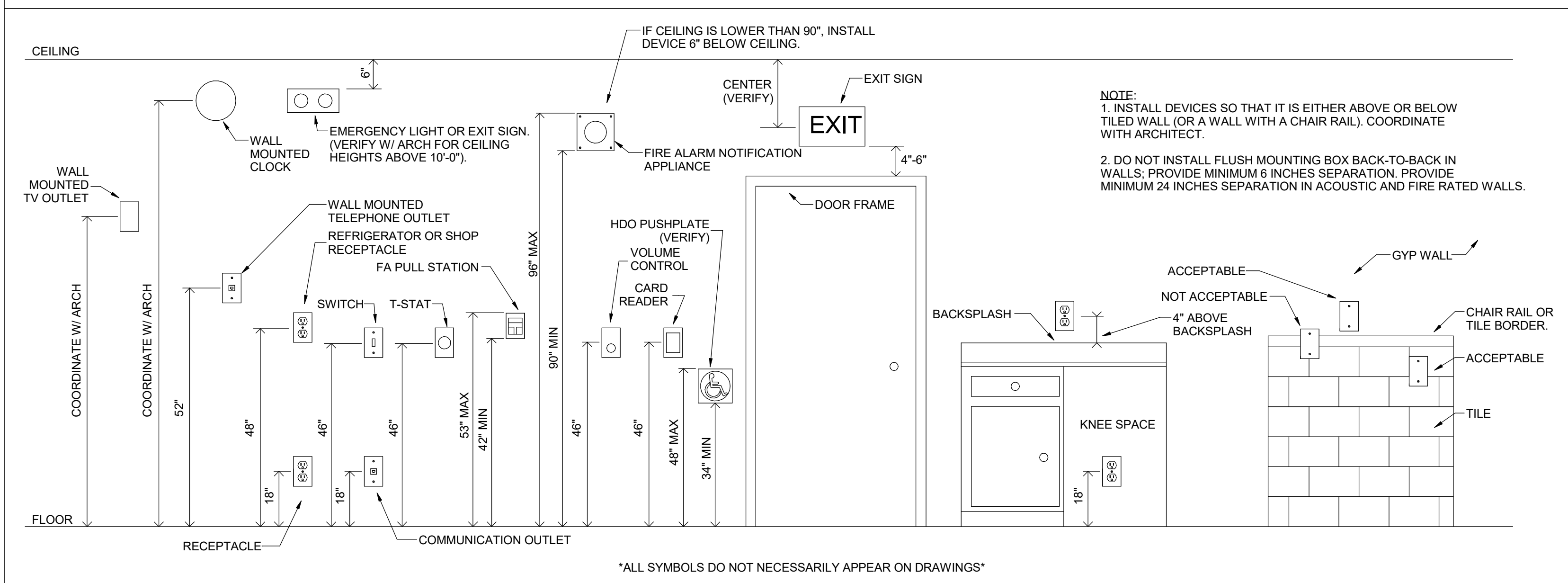
BISMARCK, ND 58504

PH: 701-323-3961

john.klein@apexenggroup.com



ELECTRICAL MOUNTING HEIGHT LEGEND



PROVIDE 2" EXPOSED CONCRETE WITH 1" CHAMFERED EDGE.

TYPE 'AA1' FLOODLIGHT, REFER TO ADDENDUM FOR MORE INFORMATION.

REBAR PER MANUFACTURER RECOMMENDATIONS

GRADE

3/4" C. WITH #10 CONDUCTORS

(4) #4 REBAR VERTICAL WITH 2" COVER

#4 TIES 12" O.C.

12" x 5' DEEP 4000 PSI CONCRETE FOUNDATION

1/2" x 8' GROUND ROD

TYPE AA1: LITHONIA LIGHTING No. TFX2 LED 40K MVOLT YK DDBXD WITH "IS" INTEGRAL SLIP FITTER OR EQUAL BY BEACON LIGHTING OR LUMARK LIGHTING. LED FLAG POLE LIGHT MOUNTED ON CONCRETE FOUNDATION, SEE DETAIL. LOCATE FIXTURES APPROXIMATELY 4'-0" FROM THE CENTER OF THE FLAG POLE. VERIFY WITH THE ENGINEER/OWNER.

1 FLAGPOLE LIGHTING

NO SCALE

ELECTRICAL COVER SHEET

STEELE COUNTY COURTHOUSE
201 Washington Ave. W
Finley, ND 58230



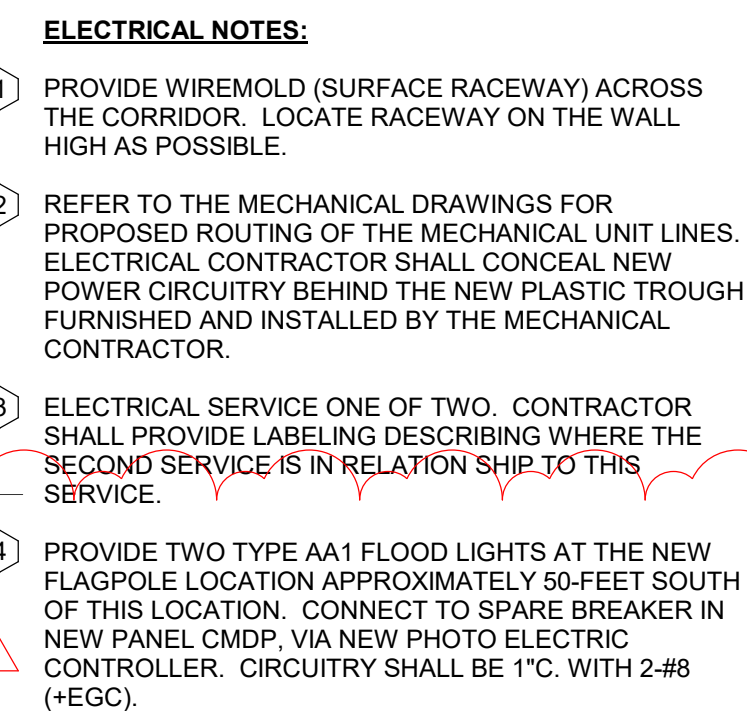
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DRAWN BY:	BN
APPROVED BY:	WG
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CONST PROJ:	---
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Bartlett & West

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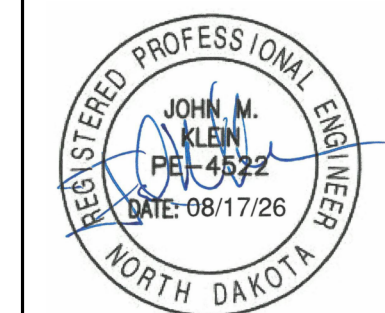
Apex 
Engineering Group

Bartlett & West

1200 SW EXECUTIVE DR - TOPEKA, KS 66615
PHONE 785-272252 - FAX 785-749-5961
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FIRST FLOOR EQUIPMENT PLAN

STEELE COUNTY COURTHOUSE
201 Washington Ave. W
Finley, ND 58230



DESIGNED BY:	JK
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DESIGN PROJ:	021969.000
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DRAWING NO:	

E202

PLAN HOLDERS LIST

Steele County Courthouse Improvements
201 Washington Ave W, Finley, ND 58230

Bid Date: 9:00 am CST, Tuesday, September 15, 2026

Contact	Company	Type	Business Phone	Address	E-Mail
Maria Delfino	ConstructConnect	Exchange	770-849-6463	28 N Clark St Ste 450, Chicago, IL 60602	Maria.Delfino@ConstructConnect.com
April Hamilton	Dodge Plan Room	Exchange	844-326-3826 Ext 9360		april.hamilton@construction.com
	Minneapolis Builders Exchange	Exchange	612-381-2620	1123 Glenwood Ave, Minneapolis, MN 55405	jeffb@mbex.org
Sandy Kerzman	Bismarck-Mandan Builders Exchange	Exchange	701-667-4322	805 Adobe Trail SE, Mandan, ND 58554	bis_manbe@midconetwork.com
	Bismarck Builders Exchange	Exchange	701-258-4215	215 Airport Road, Bismarck, ND 58504-6082	info@bbxnd.com
	Minot Builders Exchange	Exchange	701-838-5353	2424 Burdick Expressway, Minot, ND 58701	mbe1@srt.com
	Fargo Builders Exchange	Exchange	701-237-6772	1010 Page Dr, Fargo, ND 58103	info@fmbx.org
Kasi Kuiper	Construction Industry Center (Rapid City, SD)	Exchange	605-343-5252	2771 Plant Street, Rapid City, SD 57702	cic@constructionindustrycenter.com
	Sioux Falls Builders Exchange	Exchange	605-357-8687	1418 C Avenue, Sioux Falls, SD 57104	info@sfbx.com
Ben Gates	Steele County Courthouse	Owner	701-270-1738	201 Washington Ave W, Finley, ND 58230	bgates@nd.gov
Joseph Larrivee	Bartlett & West	Architect	701-221-8369	3456 E Century Ave, Bismarck, ND 58503	joe.larrivee@bartwest.com
Jason Parker	Alan Gleason Construction	General Contractor	701-262-4488	2873 96th Ave NE, Tolna, ND 58380	jason@algleasonconstruction.com
Lance Monson	Construction Engineers	General Contractor	701-471-0163	200 N 69th Street, Grand Forks, ND 58203	LanceM@ConstructionEngineers.com
Jim Gast	Gast Construction	General Contractor	701-235-3454	3410 39th Street SW, Fargo, ND 58104	estimating@gast-construction.com
Matt Gehrtz	Gehrtz Construction Services	General Contractor	701-478-4738	510 4th Avenue N, Fargo, ND 58102	mgehrzt@gcs-fm.com
Shawn Voeller	Industrial Contract Services	General Contractor	701-775-8480	2500 Mill Road Grand Forks, ND 58203-1504	shawn.voeller@icsgf.us
Mason Beier	Lee Jones & Son Construction	General Contractor	701-293-1845	2900 Fiechtner Drive, Fargo, ND 58103	masonbeier@leejonesandson.com
Spencer Hruska	MAK Construction	General Contractor	218-779-6724	4500 36th Ave S Unit 1, Grand Forks, ND 58201	spencer@makconstructiongf.com
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Mark Janes	Meridian Commercial Construction	General Contractor	701-356-0397	6218 53rd Avenue S, Fargo, ND 58104	mark@mccfargo.com
Keegan Ahern	Roers Construction	General Contractor	701-356-5050	200 45th Street S., Fargo, ND 58103	kahern@roers.com
Finn Gibson					fgibson@roers.com
Rob Ehner	TF Powers Construction	General Contractor	701- 293-1312	910 6th Ave N, Fargo, ND 58102	estimating@tfpowers.com
Jessica Gilmore	Valint Construction Services	General Contractor	701-478-0012	3217 Fiechtner Drive S. Suite E, Fargo ND, 58103	Jessica@valintconstructionservices.com
Kyle Dukowitz	Burnn Boiler & Mechanical	Mechanical Contractor	218-839-1570	2012 Great Northern Drive N., Fargo, ND 58102	kyle@burnnboiler.com
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Michael D. Peterson	Peterson Mechanical	Mechanical Contractor	701-293-7206	3001 1st Ave North, Fargo, ND 58102	mpeterson@petersonmech.com
Eric Johnson	Robert Gibb & Sons	Mechanical Contractor	701.282.5900	2011 Great Northern Drive, Fargo, ND 58102	ejohnson@robertgibb.com
Jason Thomas	Grotberg Electric	Electrical Contractor	701-373-0663	1049 5th Ave NE, West Fargo, ND 58078	jason_thomas@grotbergelectric.com
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