

SECTION 00 9113.2 - ADDENDUM 2

1.1 PROJECT INFORMATION

- A. Project Name: **21 Main St. S Façade Improvement**
- B. Owner: **Albertson Rentals 21, LLC**
- C. Architect: **Ackerman-Estvold, Engineering & Management Consulting, Inc.**
- D. Architect Project Number: **R26076**
- E. Date of Addendum: **5/22/26**

1.2 NOTICE TO BIDDERS

- A. This Addendum is issued pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. The date for receipt of bids is unchanged by this Addendum, at same time and location.

1.3 ATTACHMENTS

- A. This Addendum includes the following attached Sheets:
 - 1. Architectural Sheet A110 – Floor, Demo, & RCP Plan (reissued).
 - 2. Architectural Sheet A120 – Demo Plans (reissued).

1.4 PROCUREMENT SUBSTITUTION APPROVALS

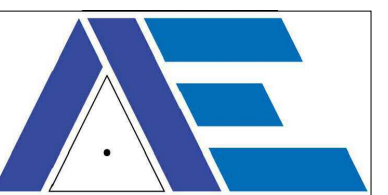
- A. Subject to compliance with requirements of the specifications, the following are approved substitutions:

Specification Section	Basis of Design / Product	Approved Substitution
08 5113 – Aluminum Windows	Quaker H-series Aluminum Windows	EFCO 590X Steel Replica Windows

**Albertson Rentals 21, LLC
21 Main St. S Façade Improvements
Minot, ND 58701**

**Ackerman-Estvold
Project #R26076**

END OF DOCUMENT 00 9113.2

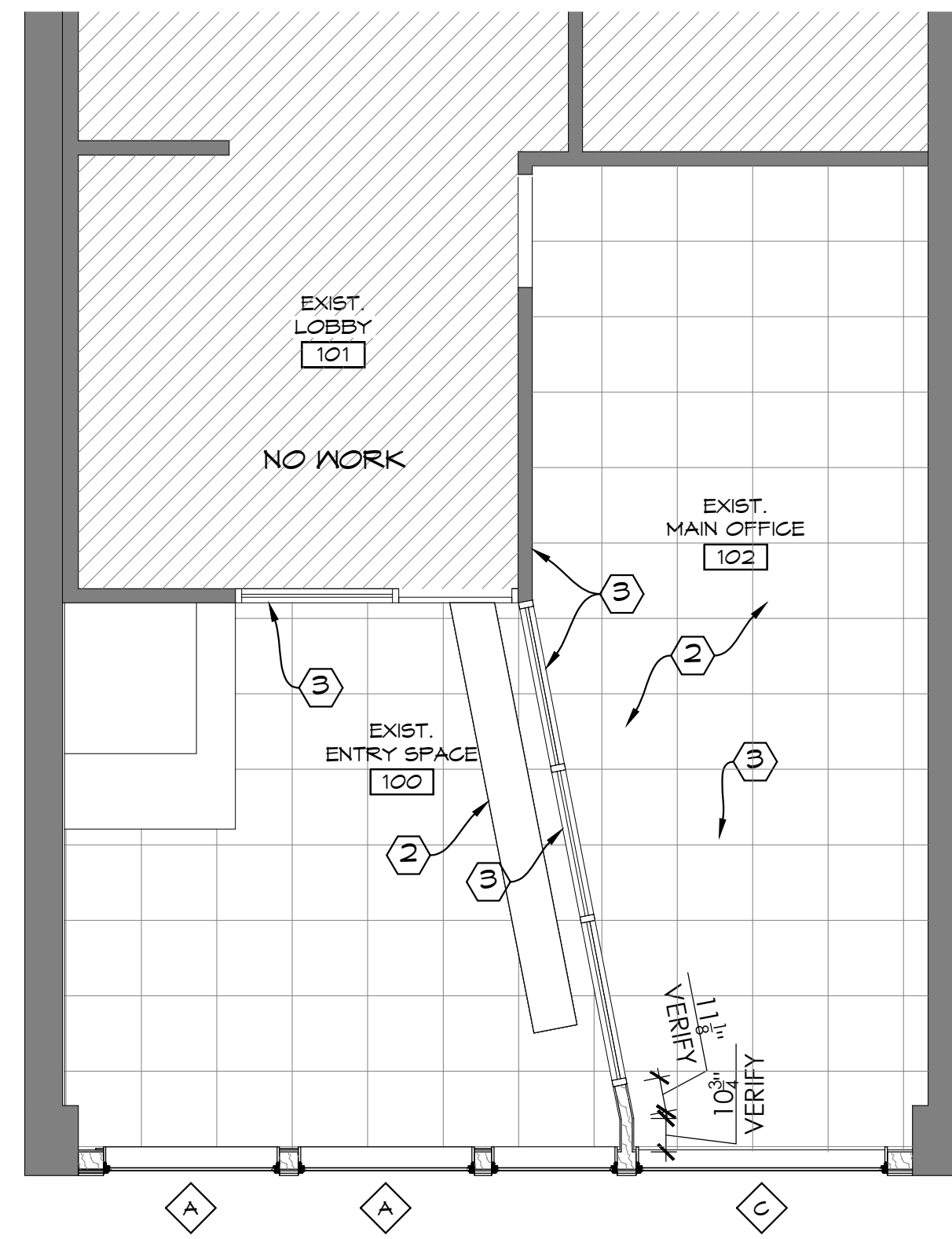


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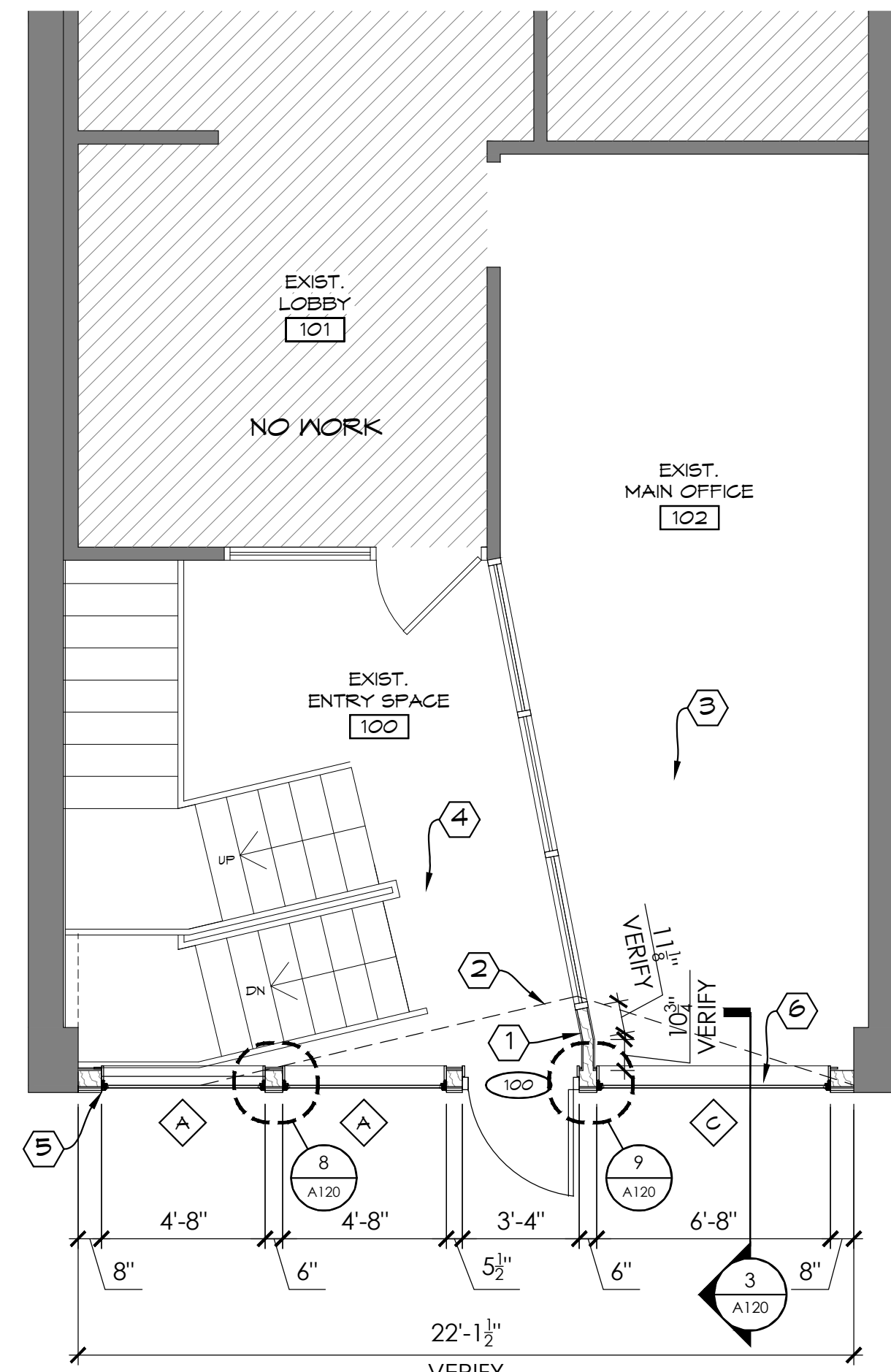
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I hereby certify that this plan specification, or report was prepared by me or under my direct supervision, and that I am a duly Registered Architect under the laws of the State of North Dakota.

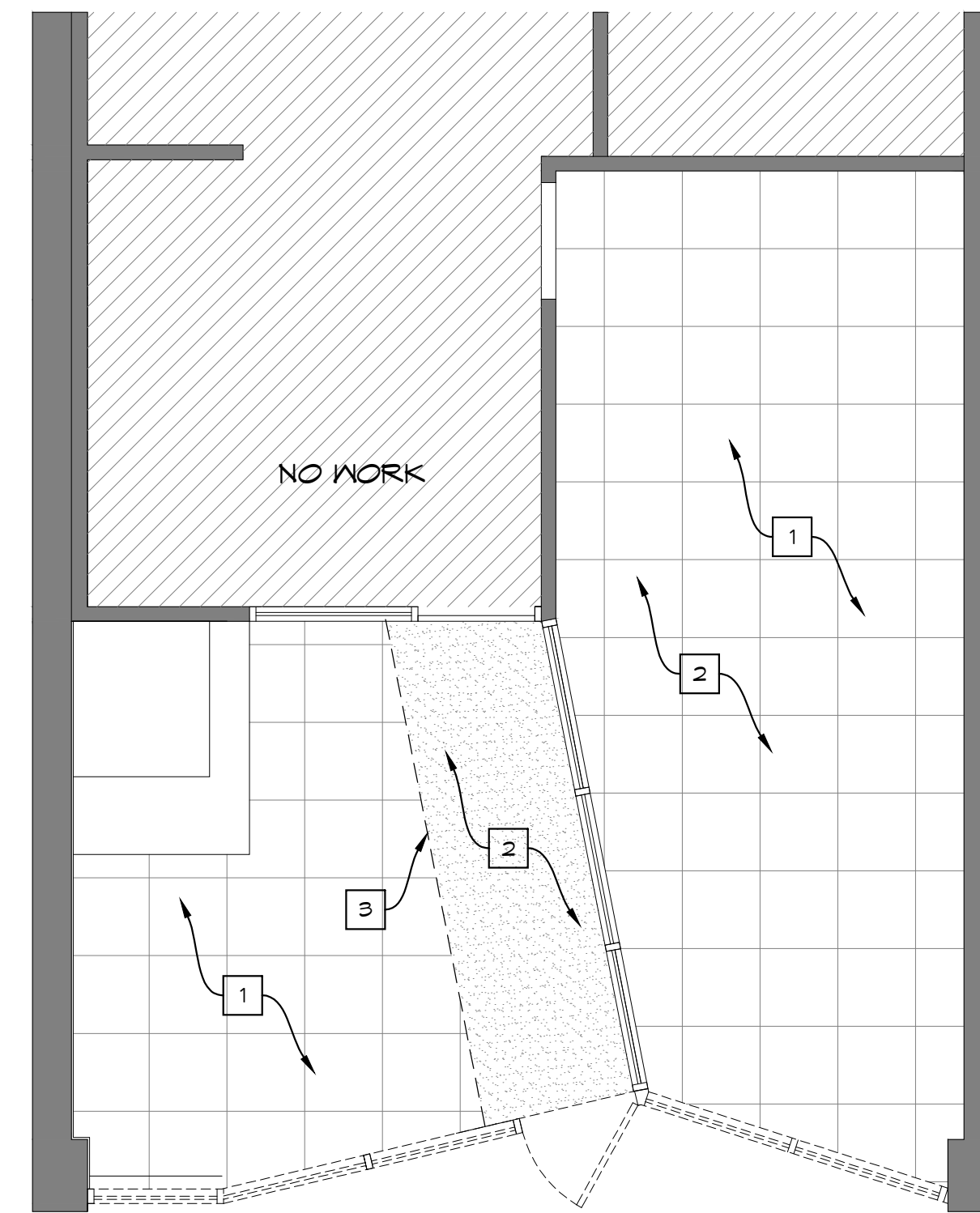
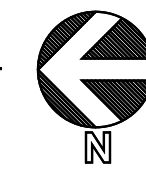
Signature
Date: 5/7/26 Ref. No. 1774



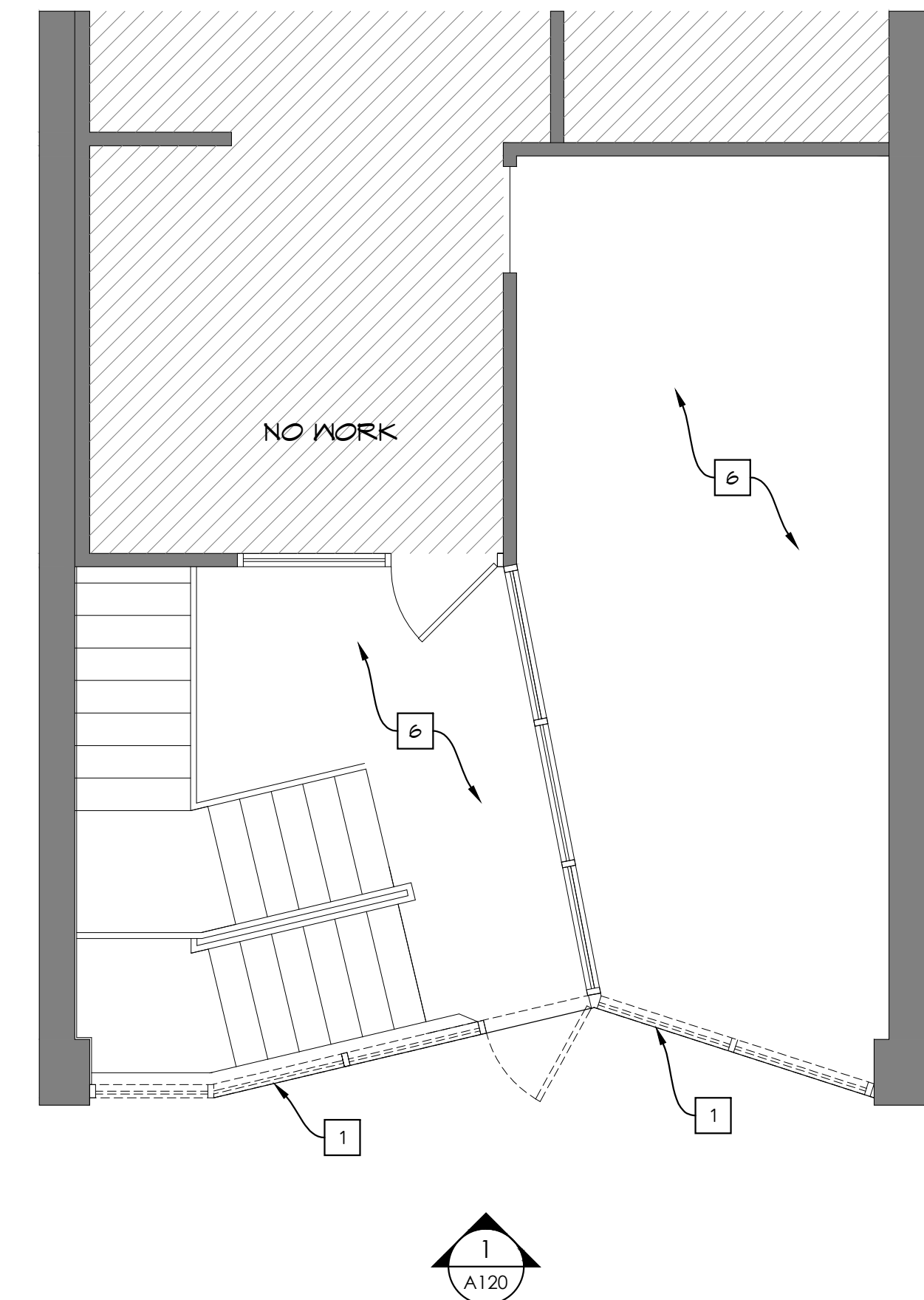
4 NEW WEST RCP PLAN
A110 SCALE: 1/4" = 1'-0"



3 NEW WEST FLOOR PLAN
A110 SCALE: 1/4" = 1'-0"



2 WEST DEMO RCP
A110 SCALE: 1/4" = 1'-0"



1 WEST DEMO PLAN
A110 SCALE: 1/4" = 1'-0"



FIRST FLOOR RCP KEY NOTES (#)

- 1 NEW ACT CEILING SYSTEM. SALVAGE AND REINSTALL EXISTING LIGHTING IN SIMILAR LOCATIONS
- 2 REPLACE EXIST HVAC THAT WILL REMAIN EXPOSED WITH NEW 14" SPIRAL DUCT - PAINTED BLACK. NEW VENT LOCATIONS TO BE IN SIMILAR LOCATIONS FROM EXIST.
- 3 REPAIR EXIST GWB AND APPLY NEW GWB TO FRAMING AS NEEDED TO EXTEND 6" ABOVE NEW CEILING SYSTEM

FIRST FLOOR PLAN KEY NOTES (#)

- 1 NEW 2X4 WD STUD FRAMING W/ 5/8" GWB ON BOTH SIDE. TEXTURE & PAINT
- 2 LEVEL CONCRETE FLOOR TO MATCH EXISTING INTERIOR FLOOR HEIGHT.
- 3 NEW CARPET TILE. MATCH EXISTING
- 4 NEW ENTRYWAY CARPET TILE. MATCH EXISTING
- 5 INSTALL NEW CONCRETE CURB W/ EASED EDGE @ EXTERIOR FACE OF WALL
- 6 NEW ROLLER WINDOW SHADE. SIZE PER WINDOW OPENING

DEMO RCP KEY NOTES (#)

- 1 REMOVE EXISTING ACT SYSTEM AND SALVAGE EXISTING LIGHTING FOR FUTURE REINSTALL.
- 2 HVAC SYSTEMS THAT WILL BE LEFT EXPOSED IN NEW CONSTRUCTION WILL BE REMOVED. PREP FOR NEW DUCTWORK INSTALLATION
- 3 REMOVE EXIST. HVAC SOFFIT. PREP WALL AND FRAMING BEHIND FOR NEW CONSTRUCTION.

DEMOLITION PLAN GENERAL NOTES

- 1 MAIN FLOOR GLASS PANELS TO BE SALVAGED AND GIVEN TO OWNER.
- 2 VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING WORK. ADVISE ARCHITECT OF ANY ADVERSE CONDITIONS PRIOR TO COMMENCEMENT OF WORK; IF ADVERSE CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION, CONTACT ARCHITECT PRIOR TO CONTINUING WORK.

DEMOLITION KEY NOTES (#)

- 1 REMOVE EXISTING STOREFRONT WINDOWS & DOOR. BRACE EXISTING INTERIOR WINDOW SYSTEM AND PREP FOR NEW WALL CONSTRUCTION.
- 2 REMOVE FACADE AND FRAMING BEHIND. REPORT TO ARCHITECT OF ENTIRE FACADE OPENING DIMENSIONS AND ANY EXISTING BRICK FACADE FOUND. REPAIR BRICK AS NEEDED AND PREP OPENING FOR NEW CONSTRUCTION
- 3 REMOVE WINDOW, FINISHES, AND FRAMING FROM OPENING AND PREP SPACE FOR NEW WINDOW INSTALLATION.
- 4 REMOVE EXISTING SIGNAGE AND VERTICAL BRICK ELEMENT BEHIND. TUCK IN NEW BRICK TO MATCH EXIST.
- 5 SAW CUT OPENING/INDENT FOR NEW CAST STONE BLOCK. COORDINATE SIZE WITH EXIST BRICK AND VERIFY W/ ARCHITECT.
- 6 REMOVE EXISTING CARPET

21 MAIN ST. S. FACADE IMPROVEMENT

ALBERTSON RENTALS 21, LLC
21 MAIN STREET S.
MINOT, ND 58701

DATE
5/07/26

CONSTRUCTION
DOCUMENTS

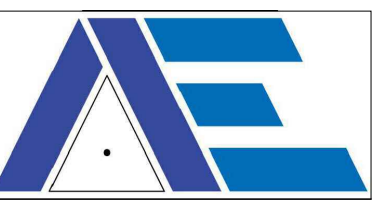
REVISION SCHEDULE

#	DATE	REVISION
1	5/15/26	ADDM1
2	5/22/26	ADDM2

PROJECT NO. 24274
DRAWN BY: MGM
CHECKED BY: RMA

SHEET

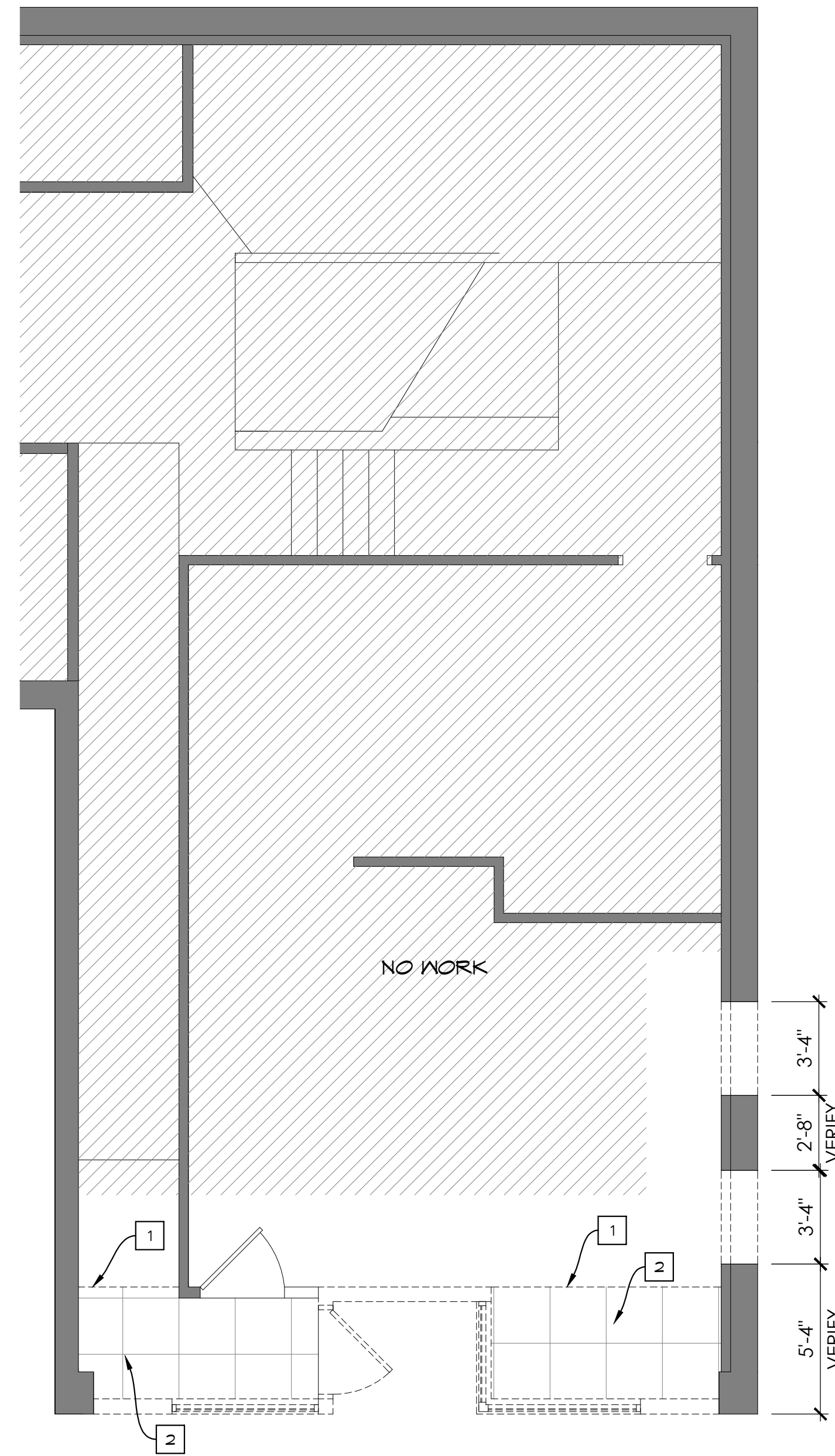
A110
FLOOR, DEMO, &
RCP PLAN



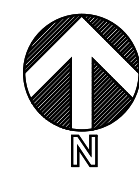
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[Signature]
Date: 5/13/26 Ref. No. 1774

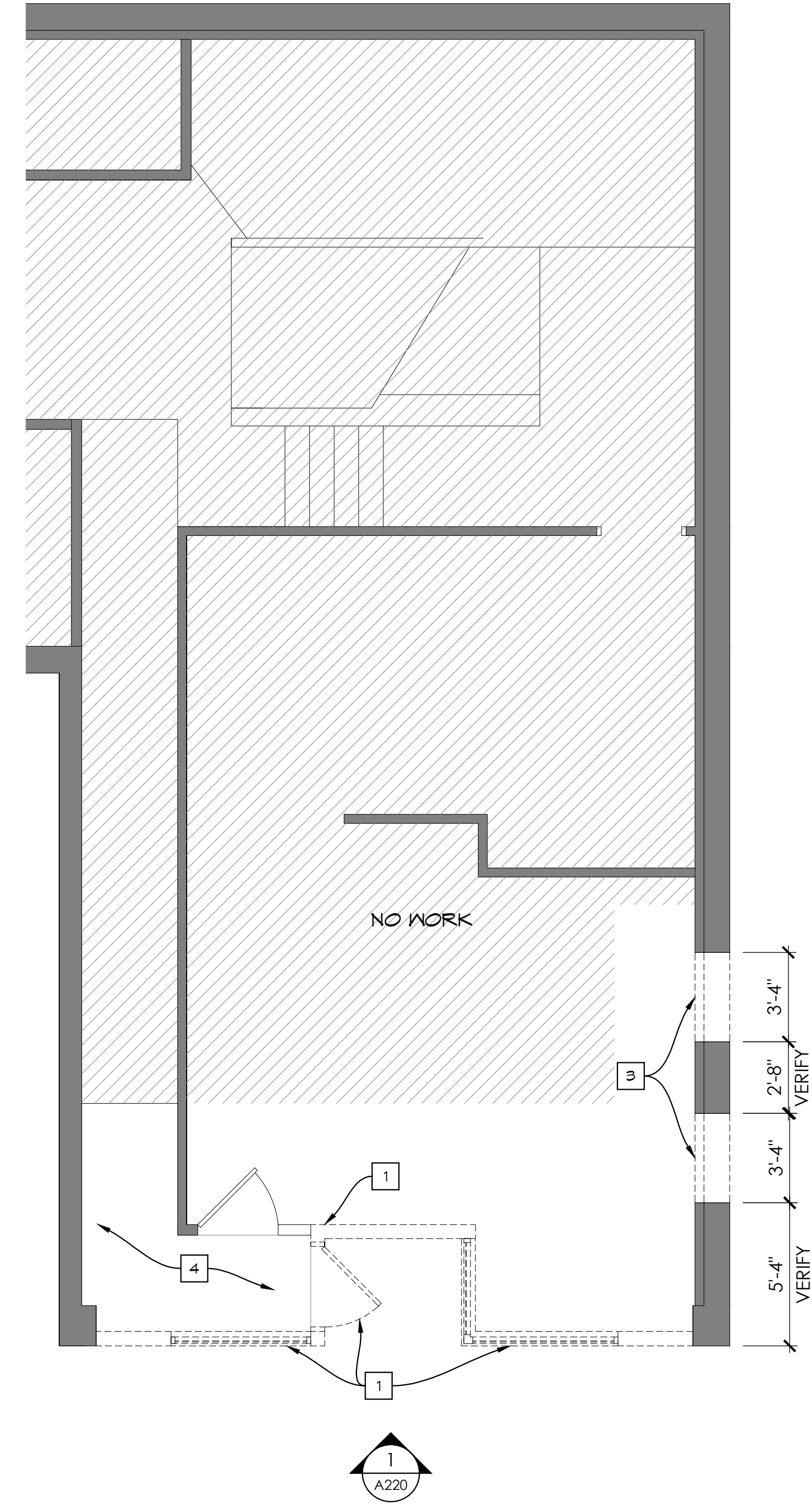


2 SOUTH RCP DEMO PLAN
A210 SCALE: 1/4" = 1'-0"



DEMO RCP KEY NOTES #

- 1 REMOVE SECTION OF EXISTING ACT SYSTEM. SALVAGE FOR REINSTALLATION
- 2 HVAC SYSTEMS THAT WILL BE LEFT EXPOSED IN NEW CONSTRUCTION WILL BE REMOVED. PREP FOR NEW DUCTWORK INSTALLATION



1 SOUTH DEMO PLAN
A210 SCALE: 1/4" = 1'-0"



DEMOLITION KEY NOTES #

- 1 REMOVE EXISTING STOREFRONT WINDOWS & DOOR. BRACE REMAINING EXISTING WALL AND PREP FOR NEW WALL CONSTRUCTION.
- 2 REMOVE FACADE AND FRAMING BEHIND. REPAIR BRICK AS NEEDED AND PREP OPENING FOR NEW CONSTRUCTION.
- 3 SAW CUT AND REMOVE SECTION OF EXISTING MASONRY WALL. PROVIDE NECESSARY TEMPORARY SHORING AS REQ'D. REMOVE SECTION OF INTERIOR WALL AND/OR FINISHES. PREP OPENING FOR NEW WINDOW INSTALLATION. COORDINATE LOCATION W/ UTILITIES LOCATED ON EXTERIOR EAST WALL.
- 4 REMOVE EXISTING FLOORING IN ENTRY AREA UP TO THE RAMP. SALVAGE FOR FUTURE REPAIRS.

2 DEMOLITION PLAN GENERAL NOTES
1 MAIN FLOOR GLASS PANELS TO BE SALVAGED AND GIVEN TO OWNER.
2 VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING WORK. ADVISE ARCHITECT OF ANY ADVERSE CONDITIONS PRIOR TO COMMENCEMENT OF WORK; IF ADVERSE CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION, CONTACT ARCHITECT PRIOR TO CONTINUING WORK.

21 MAIN ST. S. FACADE IMPROVEMENT

ALBERTSON RENTALS 21, LLC
21 MAIN STREET S.
MINOT, ND 58701

DATE
5/07/26

CONSTRUCTION DOCUMENTS

REVISION SCHEDULE

#	DATE	REVISION
1	5/15/26	ADDM1
2	5/22/26	ADDM2

PROJECT NO.	#24274
DRAWN BY:	MGM
CHECKED BY:	RMA

SHEET

A210

DEMO PLANS