

**SECTION 00 9113.1 - ADDENDUM 1**

**1.1 PROJECT INFORMATION**

- A. Project Name: **Minot Housing Authority Façade Improvement**
- B. Owner: **Minot Housing Authority**
- C. Architect: **Ackerman-Estvold, Engineering & Management Consulting, Inc.**
- D. Architect Project Number: **R25067**
- E. Date of Addendum: **8/5/25**

**1.2 NOTICE TO BIDDERS**

- A. This Addendum is issued to all registered plan holders pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. The date for receipt of bids is unchanged by this Addendum, at same time and location.

**1.3 GENERAL NOTES**

- A. Added new 1/2" plywood to all wall details due to no existing plywood.
- B. Changed key note on demo plan to resemble no existing plywood and addition of new 1/2" plywood

**1.4 ATTACHMENTS**

- A. This Addendum includes the following attached Sheets:
  - 1. Architectural Sheet AD100, dated 8/5/25, (reissued).
  - 2. Architectural Sheet AD200, dated 8/5/25, (reissued).
  - 3. Architectural Sheet A100, dated 8/5/25, (reissued).
  - 4. Architectural Sheet A200, dated 8/5/25, (reissued).

**END OF DOCUMENT 00 9113.1**

**MINOT HOUSING AUTHORITY  
 FACADE IMPROVEMENT  
 MINOT, NORTH DAKOTA**

DRAWN BY: MGM  
 CHECKED BY: RMA

DATE: 5/28/2025

REVISIONS	
1	8/5/25

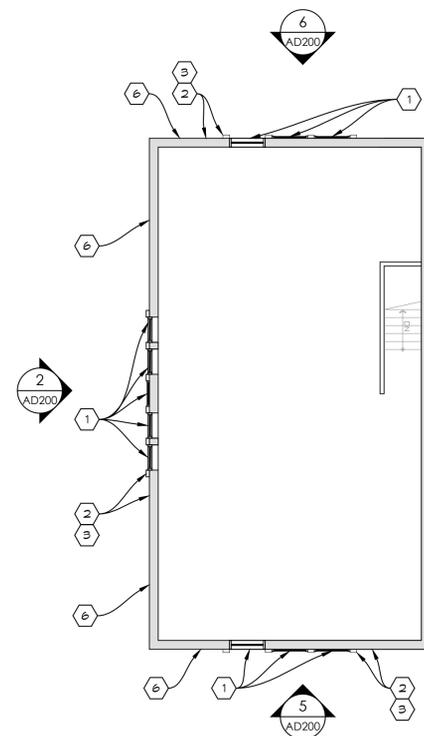
Project No.  
 R25067

**DEMOLITION  
 FLOOR PLANS**

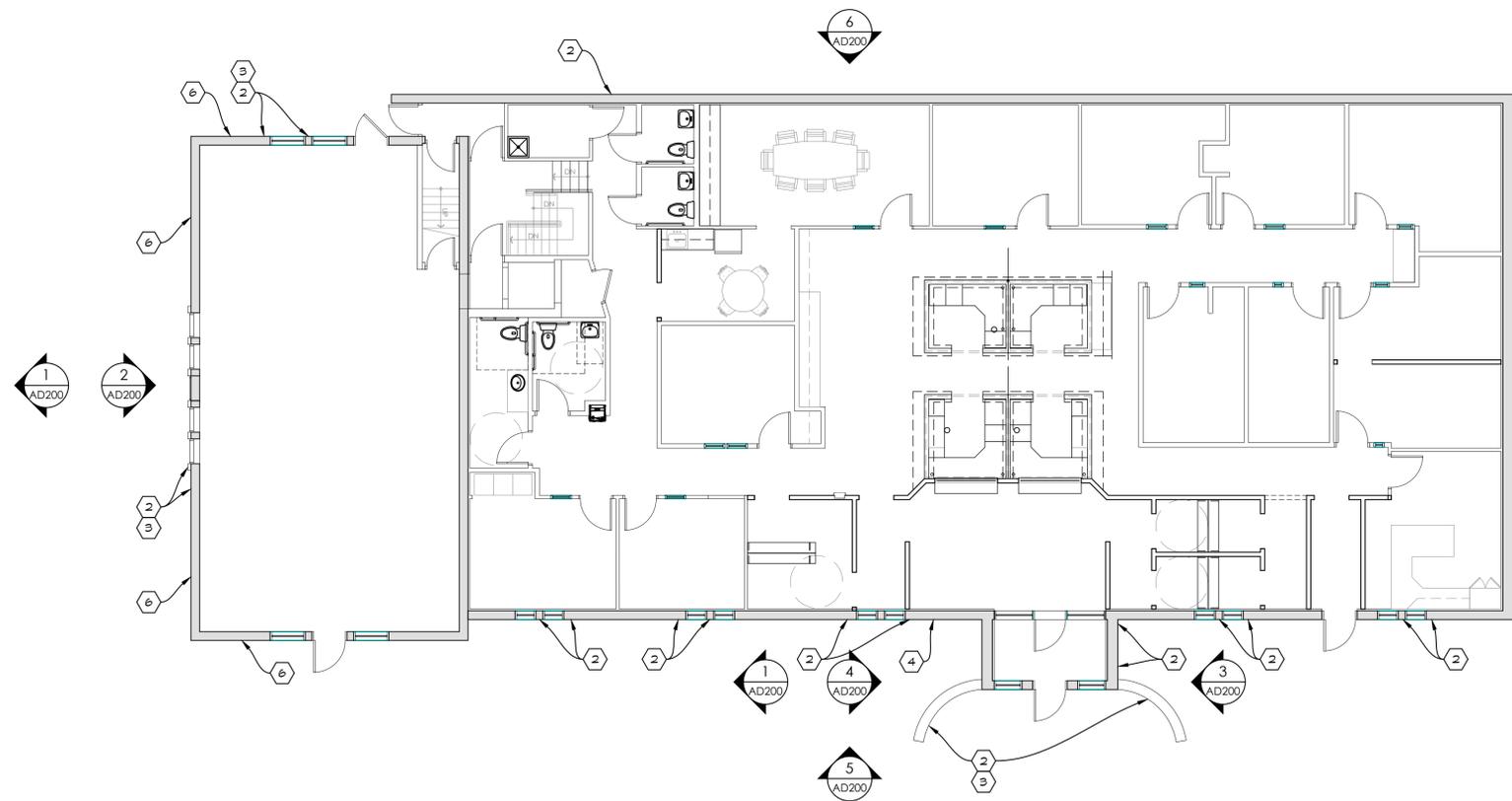
**AD100**

**DEMO KEY NOTES (#)**

- 1 DEMOLISH EXISTING WINDOW & ALL ASSOCIATED TRIM & WOOD INFILL FRAMING. PREP MASONRY OPENING FOR NEW WINDOW INSTALLATION.
- 2 CLEAN ALL EXISTING BRICK & STUCCO. REMOVE DIRT & DEBRIS FROM ENTIRE FACE OF EXISTING MASONRY & STUCCO. CLEANING TO ENTAIL RINSE OF ENTIRE BUILDING. ANY EFFLORESCENCE FOUND TO BE WASHED W/ CLEANER - SEE SPEC.
- 3 REPOINT ALL MORTAR THAT IS DEFECTIVE OR MISSING THAT DOESNT MATCH ORIGINAL MORTAR.
- 4 PATCH AND REPAIR ANY DAMAGE TO EXIST. STUCCO WALLS. SAND ALL STUCCO TEXTURE TO A FLAT AND EVEN FINISH AND PREP FOR NEW FINISH SYSTEM.
- 5 REMOVE WOOD PLANK SIDING AND SOFFIT DOWN TO EXIST. PLYWD. INSPECT AND REPLACE PLYWD WHERE NEEDED. PREP SURFACE FOR NEW METAL SIDING.
- 6 REMOVE STUCCO DOWN TO VERTICAL FURRING. INSPECT AND REPLACE WHERE NEEDED. PREP SURFACE FOR NEW SHEATHG & FINISH APPLICATION. REMOVE AND SALVAGE EXIST. MET. COPINGS TO BE REINSTALLED.
- 8 REMOVE AND SALVAGE EXIST. EQUIPMENT. TO BE REINSTALLED.



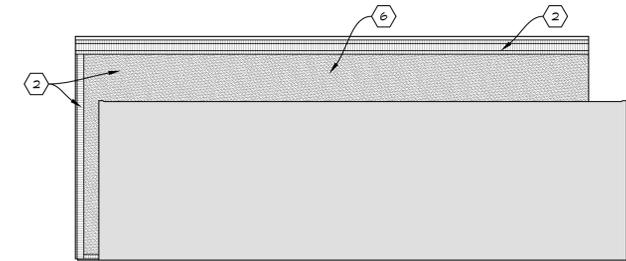
**2 SECOND FLOOR DEMO PLAN**  
 AD100 SCALE: 1/8" = 1'-0"



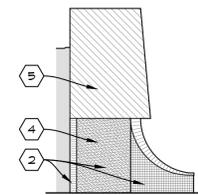
**1 MAIN FLOOR DEMO PLAN**  
 AD100 SCALE: 1/8" = 1'-0"

**DEMO KEY NOTES (#)**

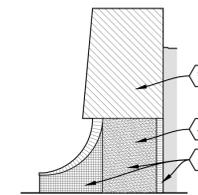
- 1 DEMOLISH EXISTING WINDOW & ALL ASSOCIATED TRIM & WOOD INFILL FRAMING. PREP MASONRY OPENING FOR NEW WINDOW INSTALLATION.
- 2 CLEAN ALL EXISTING BRICK & STUCCO- REMOVE DIRT & DEBRIS FROM ENTIRE FACE OF EXISTING MASONRY & STUCCO. CLEANING TO ENTAIL RINSE OF ENTIRE BUILDING. ANY EFFLORESCENCE FOUND TO BE WASHED W/ CLEANER - SEE SPEC.
- 3 REPOINT ALL MORTAR THAT IS DEFECTIVE OR MISSING THAT DOESNT MATCH ORIGINAL MORTAR.
- 4 PATCH AND REPAIR ANY DAMAGE TO EXIST. STUCCO WALLS. SAND ALL STUCCO TEXTURE TO A FLAT AND EVEN FINISH AND PREP FOR NEW FINISH SYSTEM.
- 5 REMOVE WOOD PLANK SIDING AND SOFFIT DOWN TO EXIST. PLYWD. INSPECT AND REPLACE PLYWD WHERE NEEDED. PREP SURFACE FOR NEW METAL SIDING.
- 6 REMOVE STUCCO DOWN TO VERTICAL FURRING. INSPECT AND REPLACE WHERE NEEDED. PREP SURFACE FOR NEW SHEATHG & FINISH APPLICATION.
- 7 REMOVE AND SALVAGE EXIST. MET. COPGS. TO BE REINSTALLED.
- 8 REMOVE AND SALVAGE EXIST. EQUIPMENT. TO BE REINSTALLED.



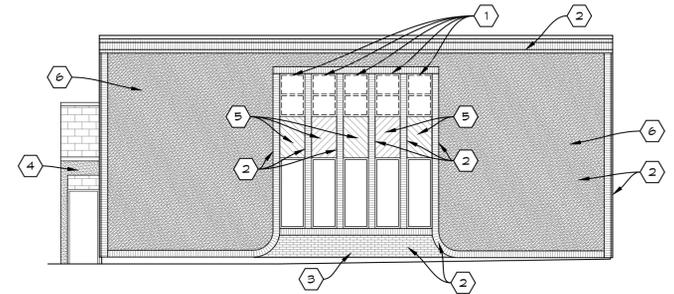
1 EXISTING SOUTH ELEVATION  
AD200 SCALE: 1/8" = 1'-0"



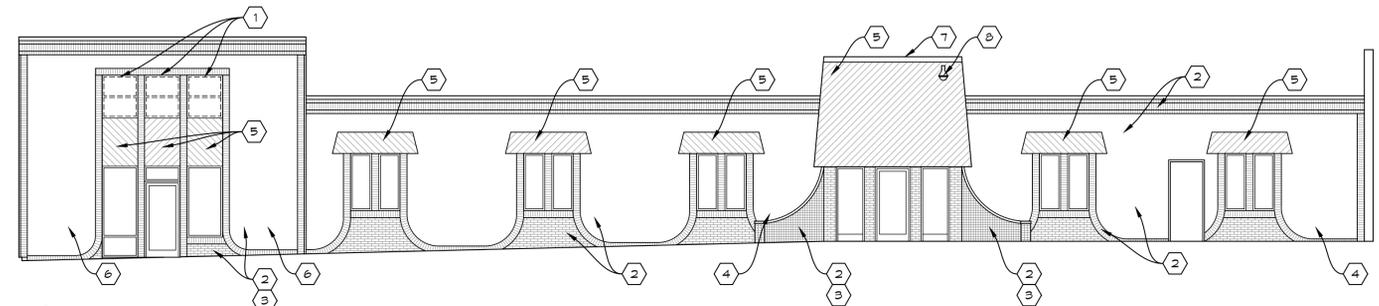
4 NORTH ENTRANCE ELEVATION  
AD200 SCALE: 1/8" = 1'-0"



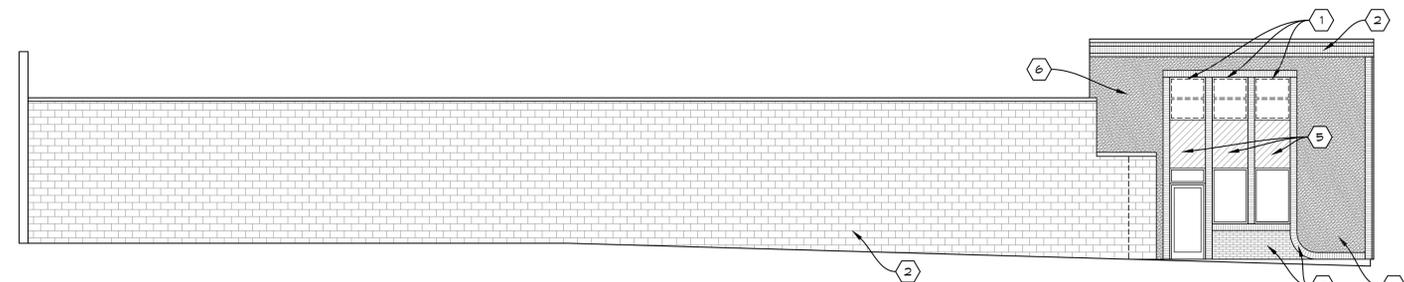
3 SOUTH ENTRANCE ELEVATION  
AD200 SCALE: 1/8" = 1'-0"



2 EXISTING NORTH ELEVATION  
AD200 SCALE: 1/8" = 1'-0"



5 EXISTING WEST ELEVATION  
AD200 SCALE: 1/8" = 1'-0"



6 EXISTING EAST ELEVATION  
AD200 SCALE: 1/8" = 1'-0"

MINOT HOUSING AUTHORITY  
 FACADE IMPROVEMENT  
 MINOT, NORTH DAKOTA

DRAWN BY: MGM  
CHECKED BY: RMA

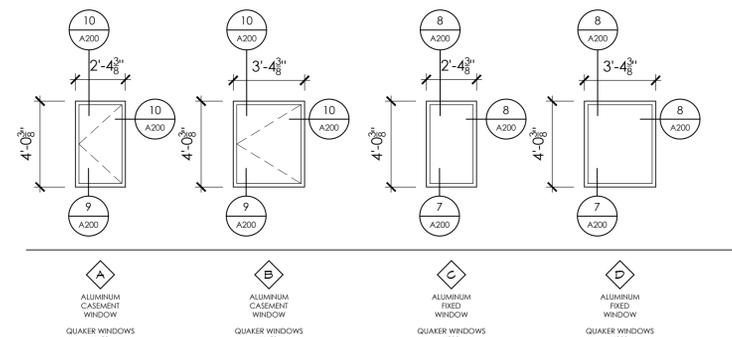
DATE: 5/28/2025

REVISIONS	
1	8/5/25

Project No.  
R25067

DEMOLITION  
ELEVATIONS

AD200



**3 WINDOW TYPES**  
A100 SCALE: 1/4" = 1'-0"

**ARCHITECTURAL GENERAL NOTES**

- 1 VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING WORK; ADVISE ARCHITECT OF ANY ADVERSE CONDITIONS PRIOR TO COMMENCEMENT OF WORK; IF ADVERSE CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION, CONTACT ARCHITECT PRIOR TO CONTINUING WORK.
- 2 FIELD VERIFY ALL DIMENSIONS.
- 3 FOR ALL DETAILS THAT ARE TYPICAL, INCORPORATE INTO PROJECT AT APPROPRIATE LOCATIONS WHETHER SPECIFICALLY INDICATED OR NOT
- 4 ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE LOCAL, STATE, AND FEDERAL CODES OR REGULATIONS.

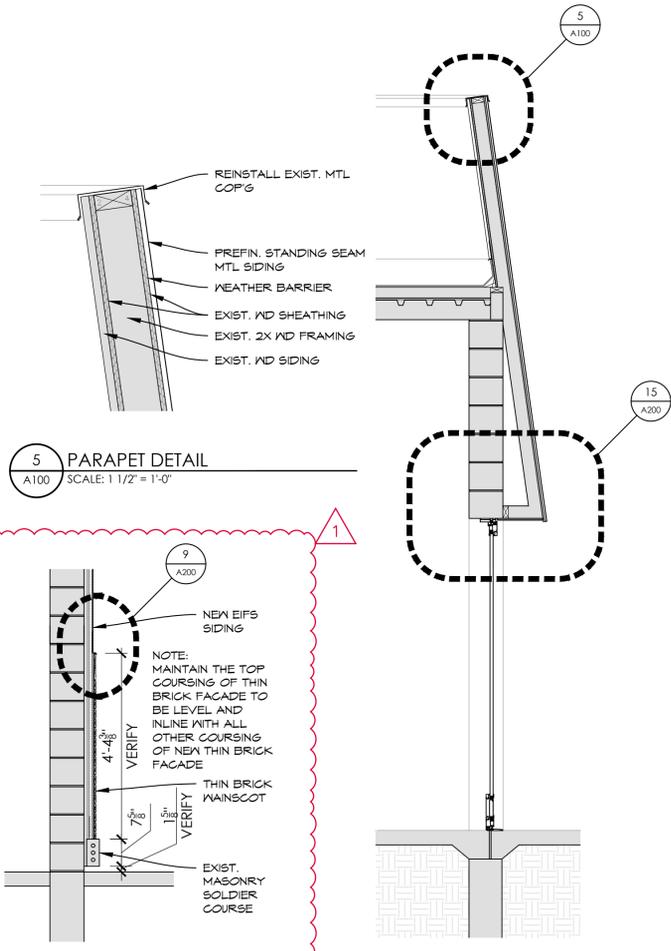
**NEW CONSTRUCTION KEY NOTES (#)**

- 1 INSTALL NEW ALUMINUM WINDOWS. SEE WINDOW SCHED.
- 2 PATCH & SAND EXIST. STUCCO TO A FLAT AND SMOOTH TEXTURE. SKIM COAT OVER EXIST. STUCCO W/ NEW LAYER OF DRYVIT SYSTEM.
- 3 CLEAN/REPAIR EXISTING BRICK & STUCCO. TUCK-POINT & REPAIR AS REQ'D. TYP.
- 4 STAIN EXIST. BRICK. FINISH/COLOR TBD BY ARCHITECT.
- 5 INSTALL NEW THIN BRICK WALL SYSTEM.
- 6 NEW STANDING SEAM MTL PANELS, TRIM, AND SOFFIT. COLOR TBD BY ARCHITECT.
- 7 PAINT EXIST. CMU WALL. MATCH COLOR TO DRYVIT SYSTEM
- 8 INSTALL NEW DRYVIT "OUTSULATION" SYSTEM W/ 3/4" RIGID INSULATION.

**WINDOW SCHEDULE**

TYPE	SIZE	FRAME MATERIAL	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	GLASS TYPE	REMARKS
A	4'-0 3/8" X 2'-4 3/8"	ALUM	10/A200	10/A200	9/A200	-	
B	4'-0 3/8" X 3'-4 3/8"	ALUM	10/A200	10/A200	9/A200	-	
C	4'-0 3/8" X 2'-4 3/8"	ALUM	8/A200	8/A200	7/A200	-	
D	4'-0 3/8" X 3'-4 3/8"	ALUM	8/A200	8/A200	7/A200	-	

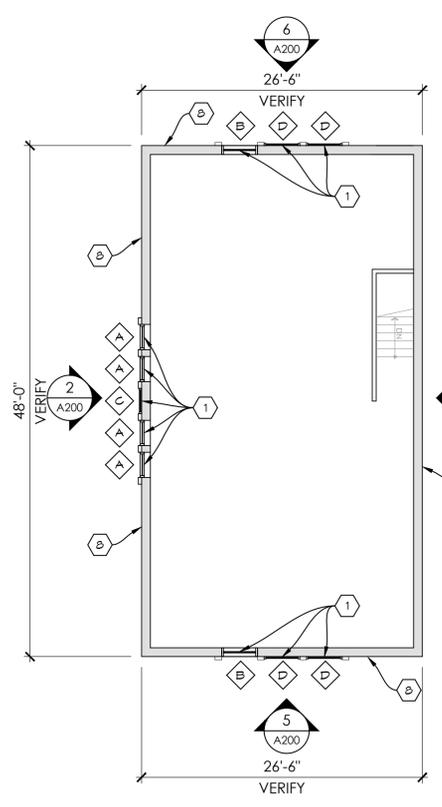
VERIFY ALL EXISTING OPENINGS FOR SIZING OF WINDOWS & DOORS



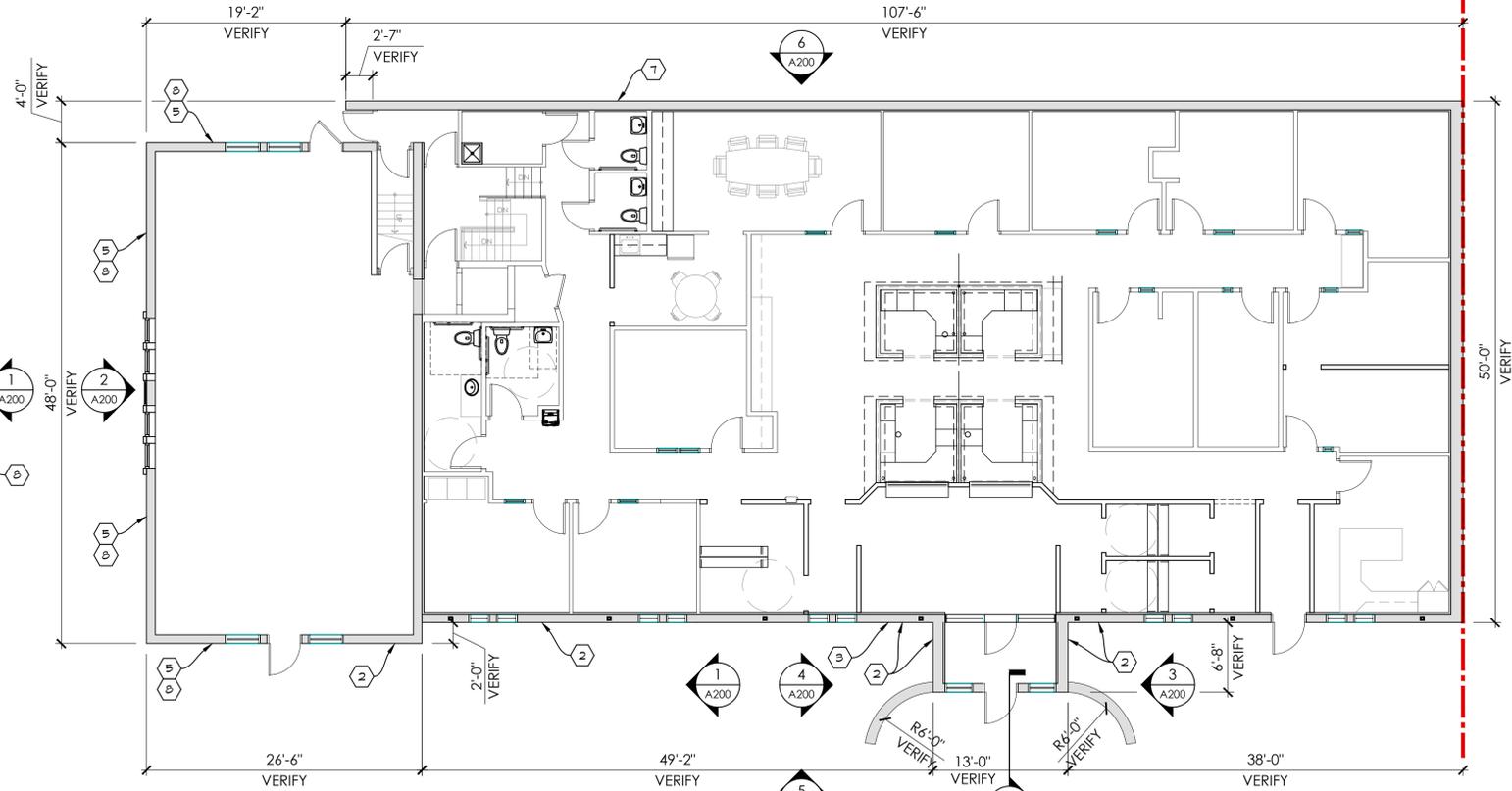
**5 PARAPET DETAIL**  
A100 SCALE: 1 1/2" = 1'-0"

**4 THIN BRICK WALL SECT.**  
A100 SCALE: 1/2" = 1'-0"

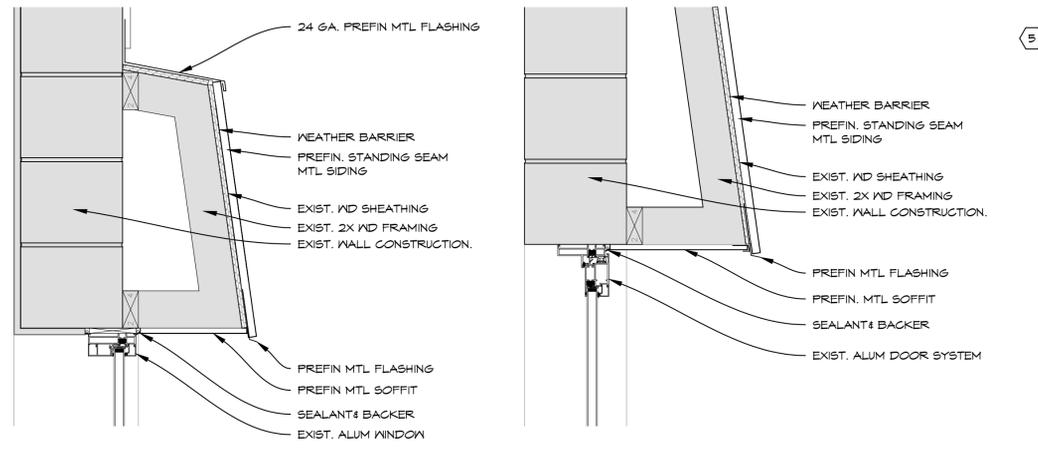
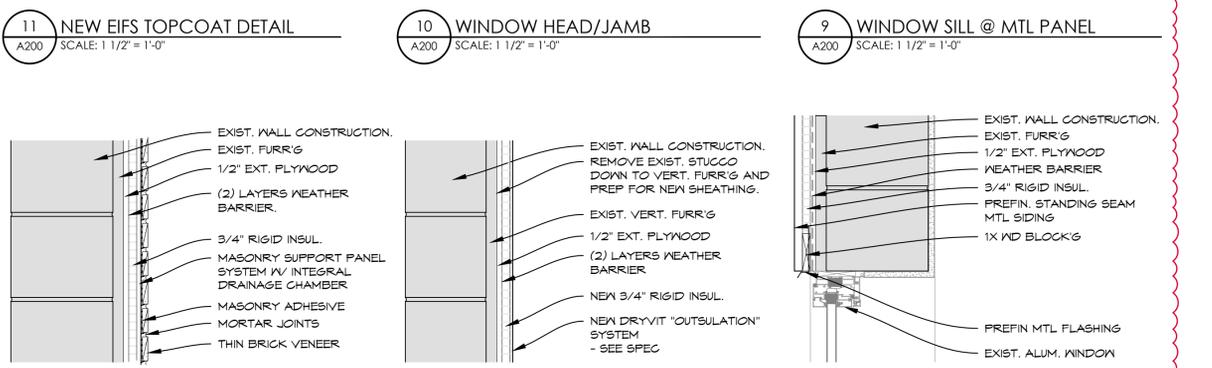
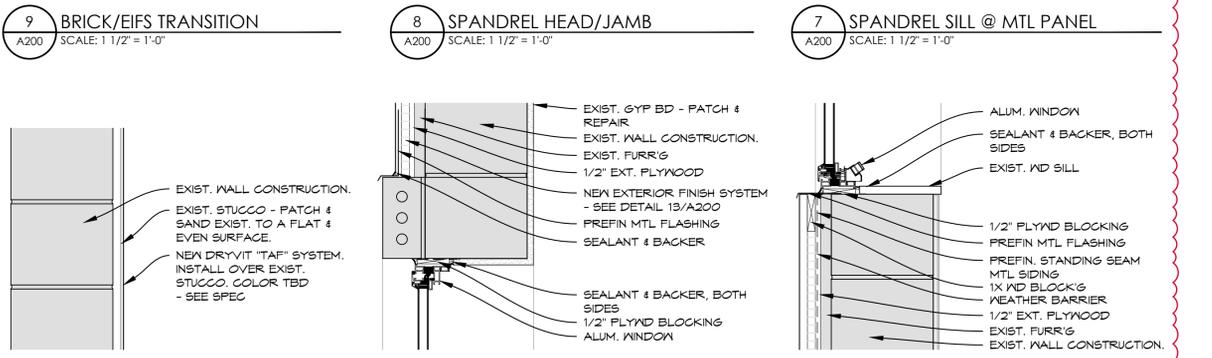
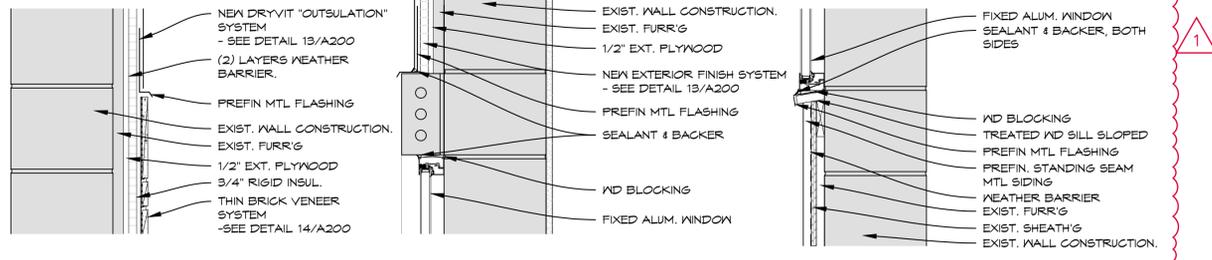
**3 ENTRY WALL SECTION**  
A100 SCALE: 1/2" = 1'-0"



**2 SECOND FLOOR PLAN**  
A100 SCALE: 1/8" = 1'-0"



**1 MAIN FLOOR PLAN**  
A100 SCALE: 1/8" = 1'-0"

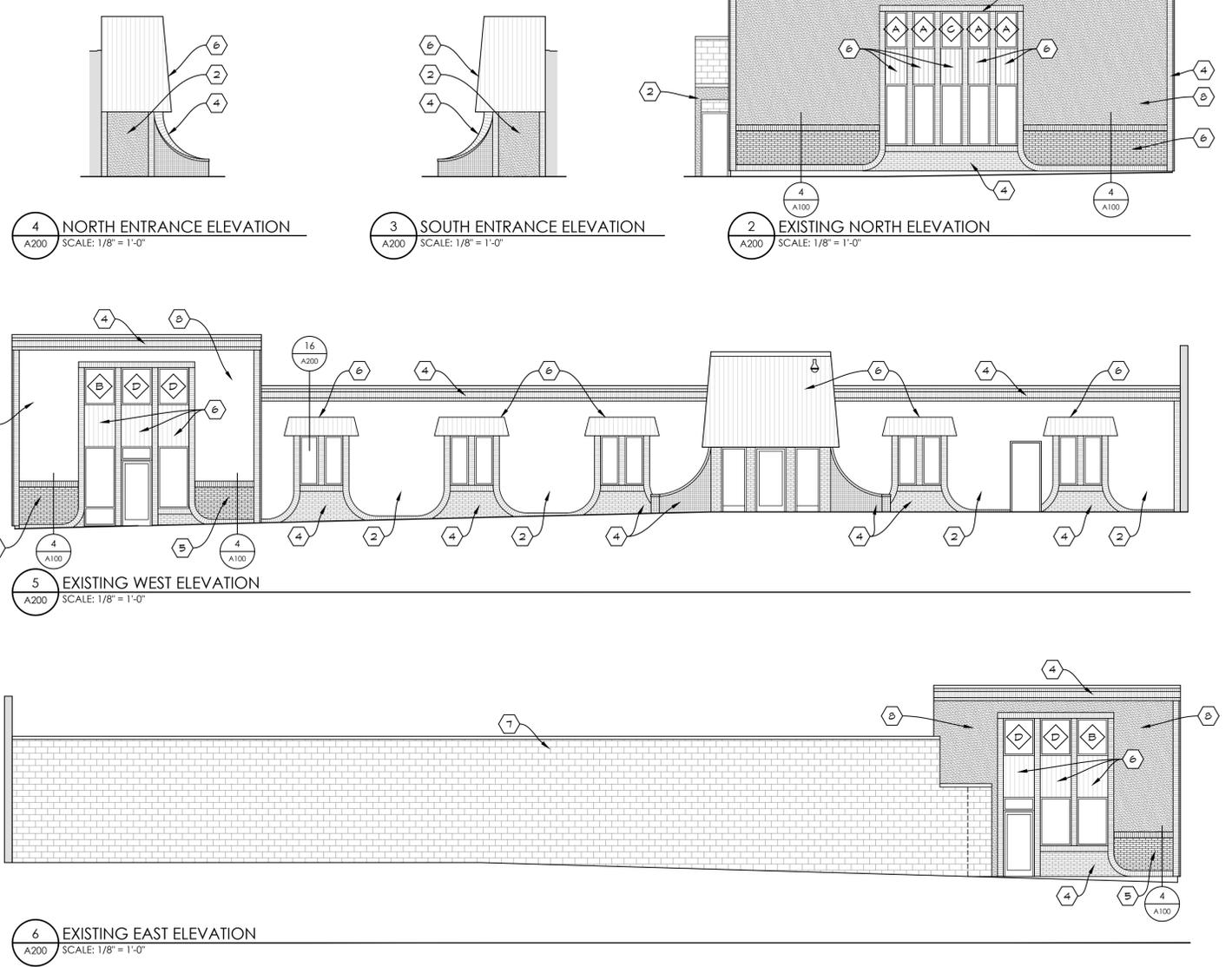


### ARCHITECTURAL GENERAL NOTES

- VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING WORK; ADVISE ARCHITECT OF ANY ADVERSE CONDITIONS PRIOR TO COMMENCEMENT OF WORK; IF ADVERSE CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION, CONTACT ARCHITECT PRIOR TO CONTINUING WORK.
- FIELD VERIFY ALL DIMENSIONS.
- FOR ALL DETAILS THAT ARE TYPICAL, INCORPORATE INTO PROJECT AT APPROPRIATE LOCATIONS WHETHER SPECIFICALLY INDICATED OR NOT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE LOCAL, STATE, AND FEDERAL CODES OR REGULATIONS.

### NEW CONSTRUCTION KEY NOTES (#)

- INSTALL NEW ALUMINUM WINDOWS, SEE WINDOW SCHED.
- PATCH & SAND EXIST. STUCCO TO A FLAT AND SMOOTH TEXTURE, SKIM COAT OVER EXIST. STUCCO W/ NEW LAYER OF DRYVIT SYSTEM.
- CLEAN/REPAIR EXISTING BRICK & STUCCO, TUCK-POINT & REPAIR AS REQ'D, TYP.
- STAIN EXIST. BRICK, FINISH/COLOR TBD BY ARCHITECT.
- INSTALL NEW THIN BRICK WALL SYSTEM.
- NEW STANDING SEAM MTL PANELS, TRIM, AND SOFFIT, COLOR TBD BY ARCHITECT.
- PAINT EXIST. CMU WALL, MATCH COLOR TO DRYVIT SYSTEM.
- INSTALL NEW DRYVIT "OUTSULATION" SYSTEM W/ 3/4" RIGID INSULATION.



DRAWN BY: MGM  
CHECKED BY: RMA

DATE: 5/28/2025

REVISIONS	DATE
1	8/5/25

Project No. R25067

**BUILDING ELEVATIONS**

**A200**